



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/045028

PROPOSAL: Dwelling

LOCATION: 38 Napa Street, Howrah

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 15 July 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 15 July 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 15 July 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

3 bedrooms, 2 bathrooms, open plan kitchen, living and dining, single car garage

Location:

Address..... 38 Napa Street

Suburb/Town Howrah

Postcode 7018

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

n/a

Current Use of Site:

vacant

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

Signature.....Date.....18/6/2024

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

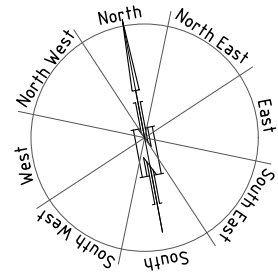
Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST

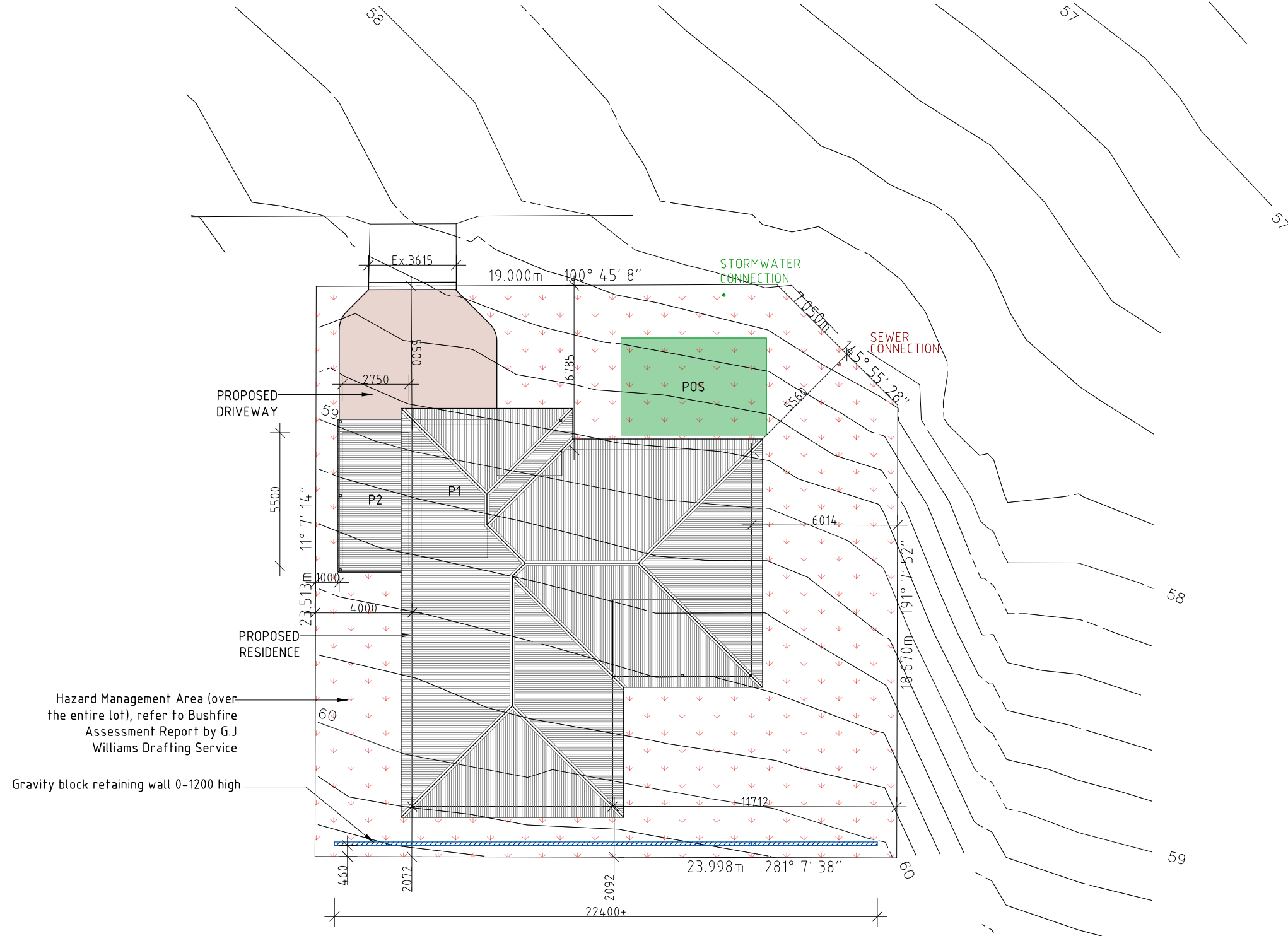


- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.



Contents	
1.	Site Plan
2.	Plan
3.	Elevations
4.	Stormwater Plan
5.	Plumbing Details
6.	Plumbing Notes
7.	BAL 12.5 Notes



DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR
TAYLOR AND BEESON CONSTRUCTION PTY LTD AT
38 NAPA STREET, HOWRAH

SITE PLAN

DATE
18/06/2024

DRAWN BY J.TILLEY
email: jttilley7@biapond.com
phone ph 0400 671 582

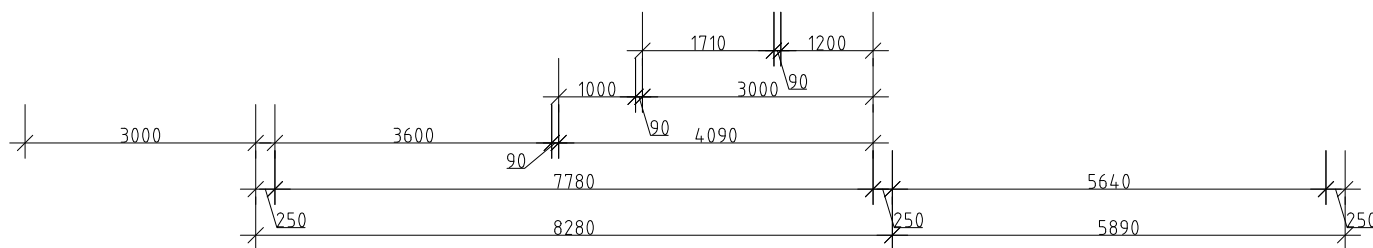
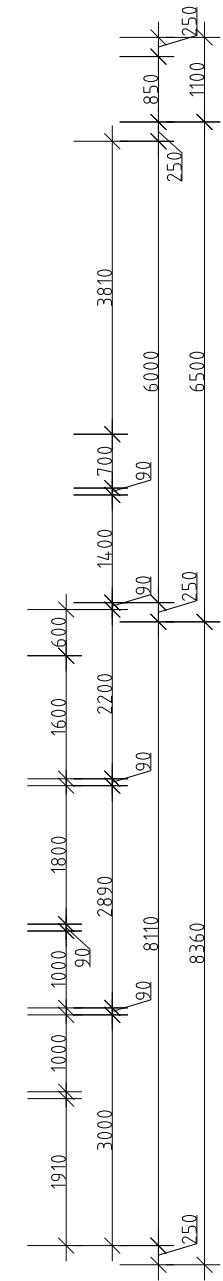
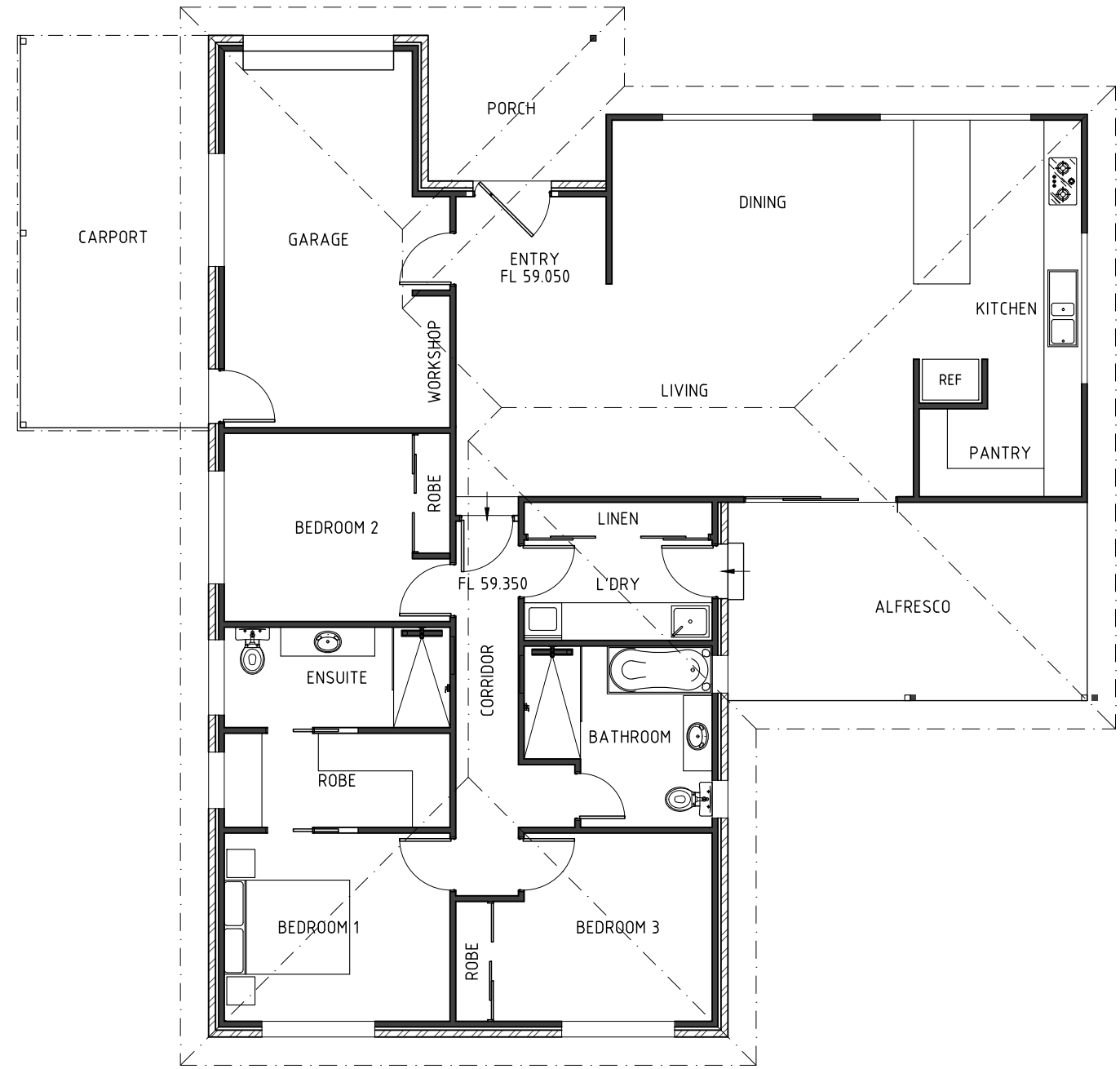
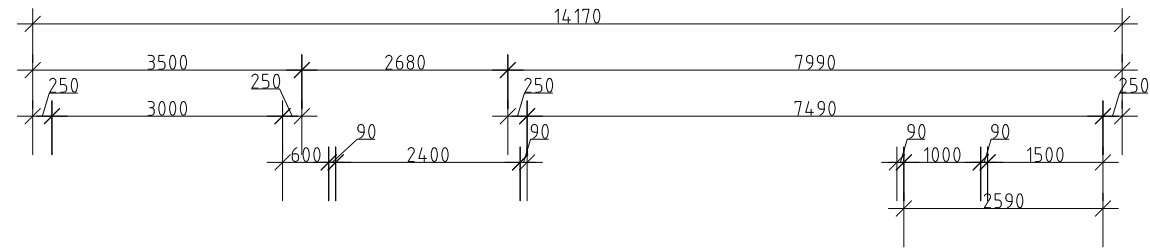
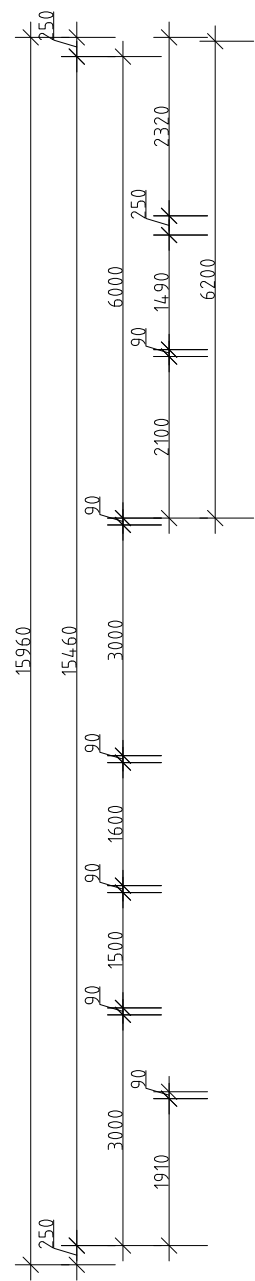
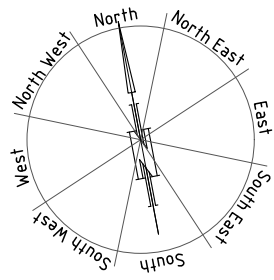
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01 OF 07

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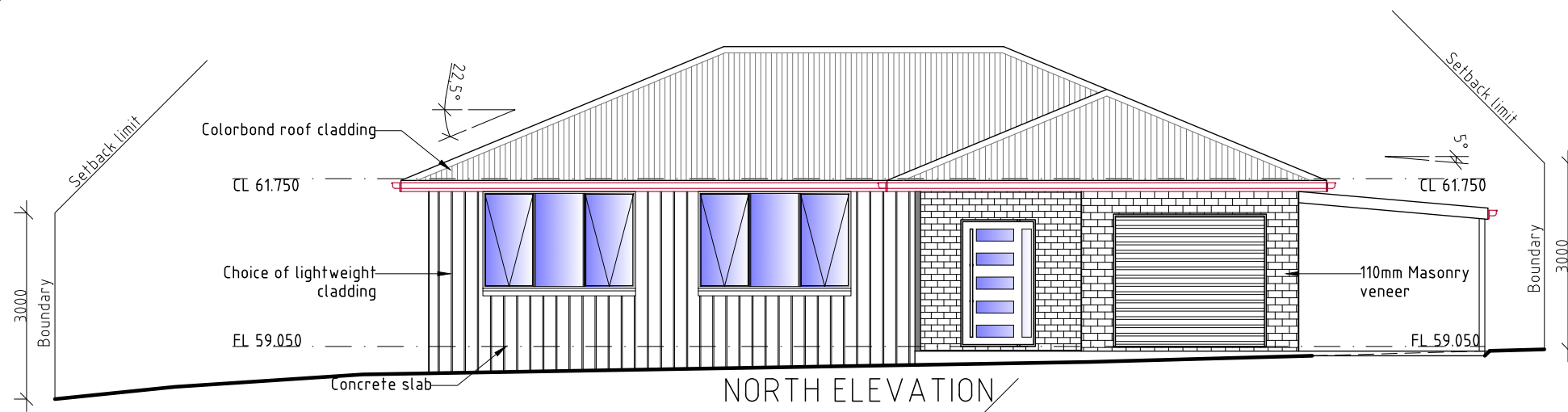




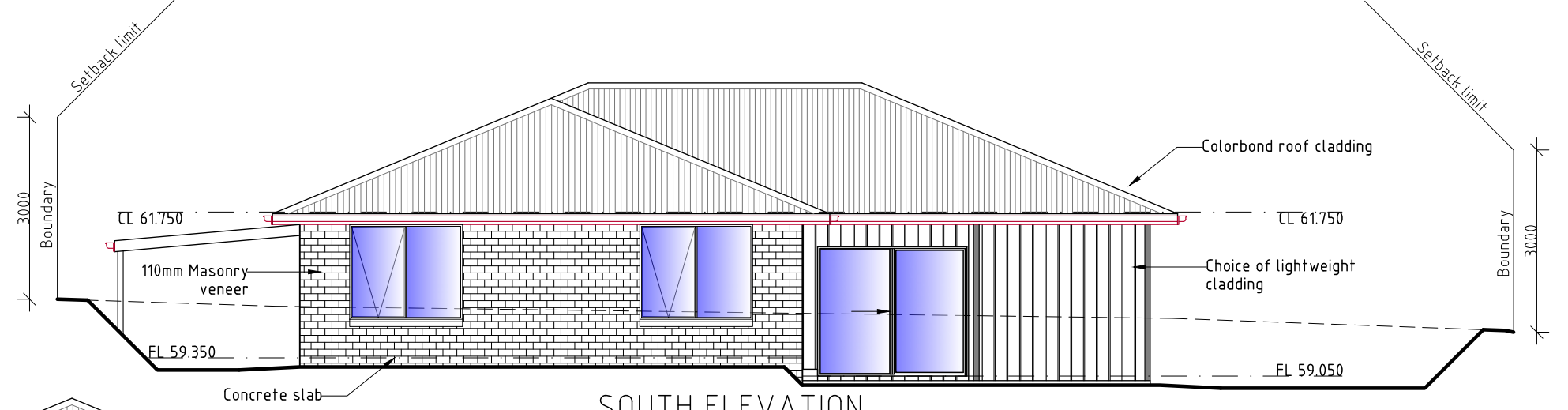
Area
 Residence: 161.90m²
 Alfresco: 17.67m²

**DEVELOPMENT DRAWINGS ONLY
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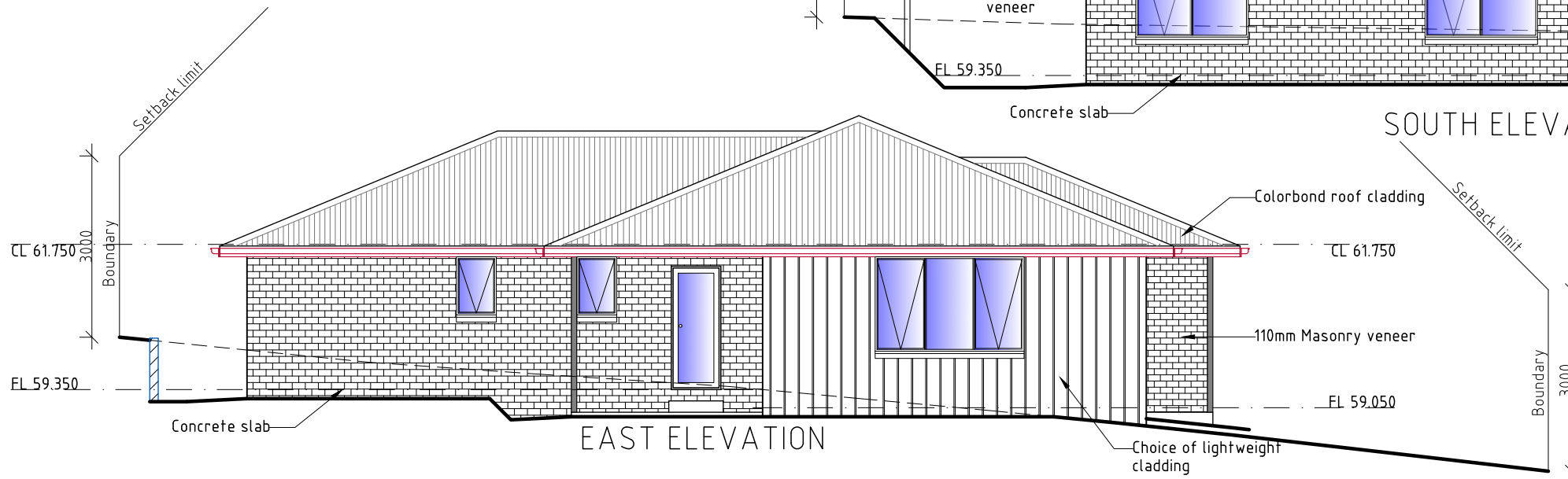
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NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



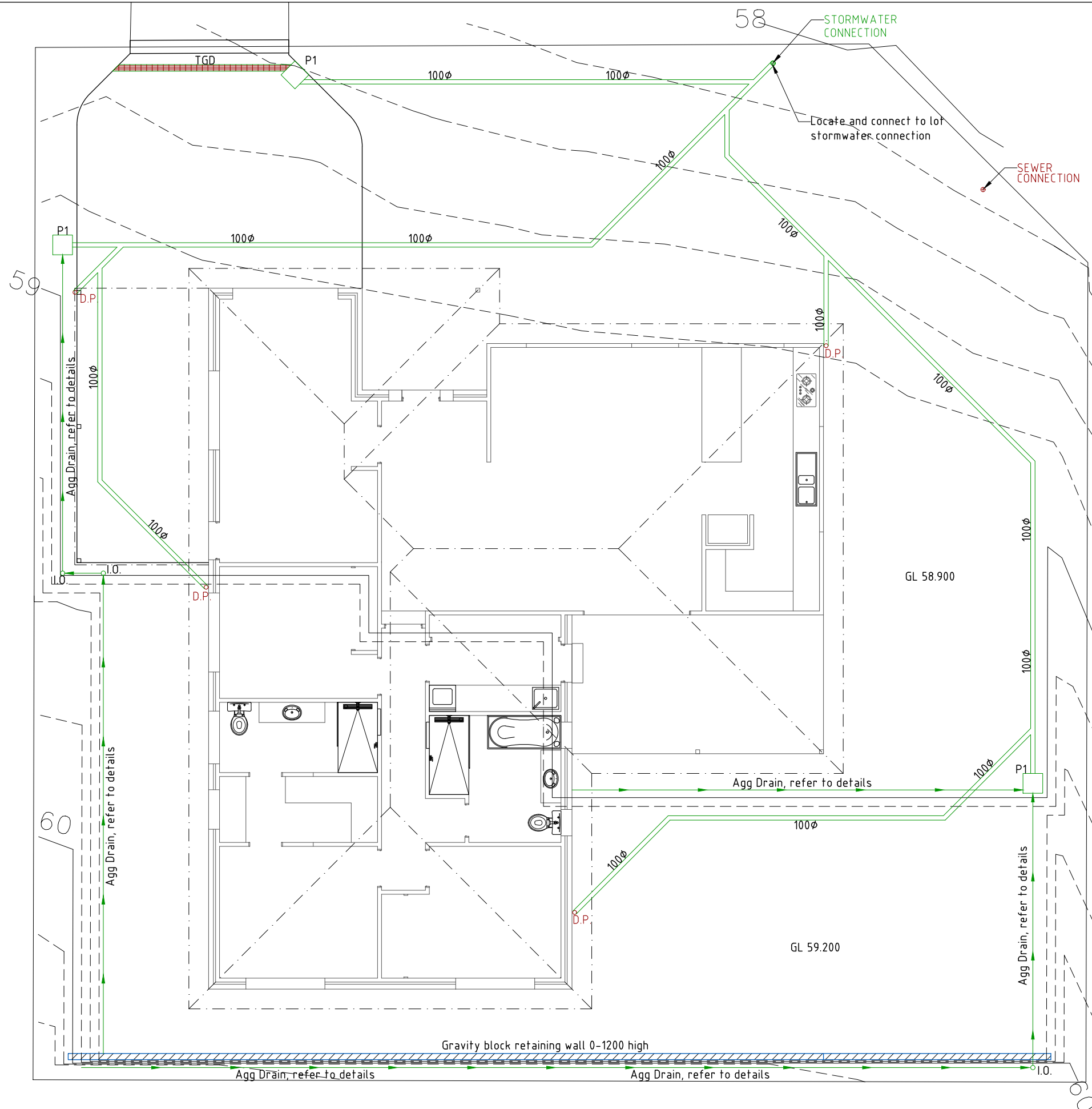
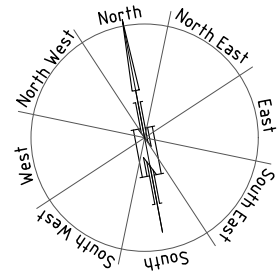
WEST ELEVATION

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PROPOSED RESIDENCE FOR
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38 NAPA STREET, HOWRAH

ELEVATIONS		DATE 18/06/2024	DRAWN BY J.TILLEY email: jttilley7@biopond.com phone ph 0400 671 582
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TGD Trafficable grate drain
 P1 450x450 Trafficable pit.
 Each grate pit to be fitted with
 SPEL Environmental Stormsack
 water quality improvement device.
 Designed & installed in accordance
 with manufacturers instructions

Agg drains to be installed prior to
 slab preparation. Evidence of the
 agg drainage installation to be
 supplied to the Engineer.

Plumber to confirm the
 location of existing on-site
 services prior to commencement
 of any excavations

S100φ 100uPVC sewerage
 1.67% min. fall

 100φ 100uPVC stormwater
 1:100 min. fall

 100x100 cast in kerb to downslope
 of driveway perimeter
 I.O. at each intersection & bend

**DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION**

PROPOSED RESIDENCE FOR
 TAYLOR AND BEESON CONSTRUCTION PTY LTD AT
 38 NAPA STREET, HOWRAH

STORMWATER PLAN

DATE
 18/06/2024

DRAWN BY J.TILLEY
 email: jttilley7@biopond.com
 phone ph 0400 671 582

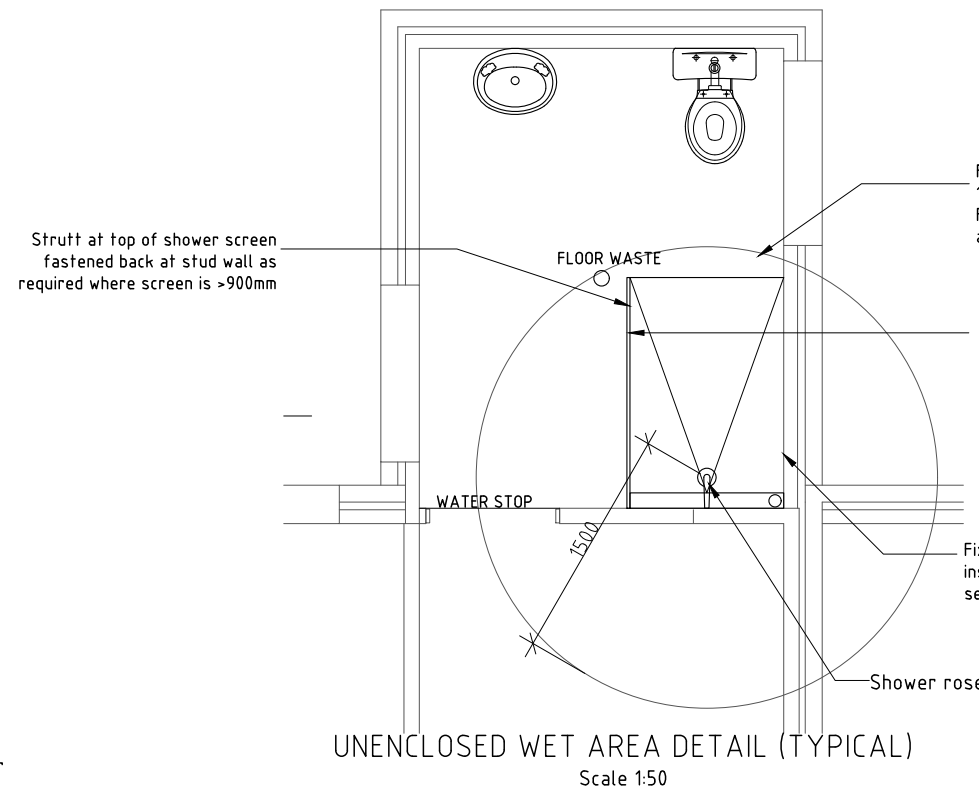
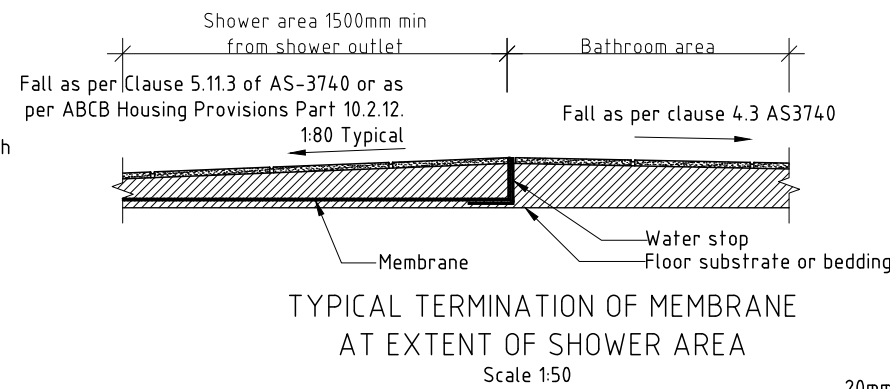
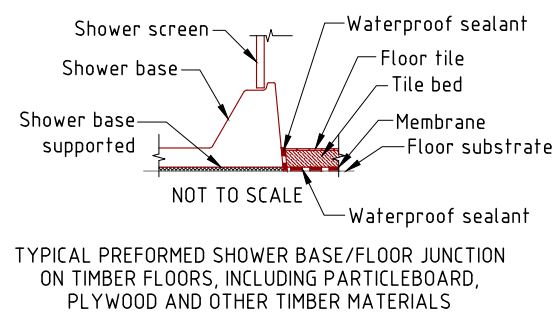
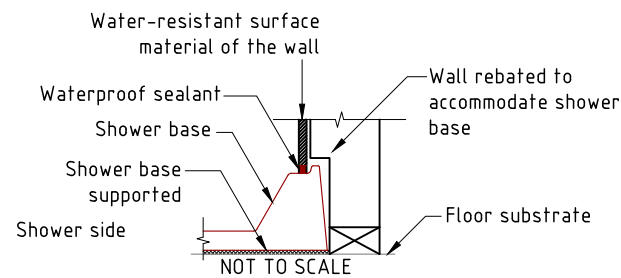
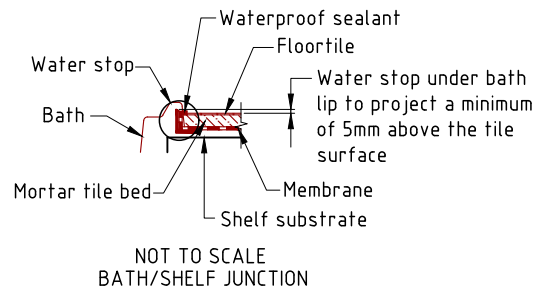
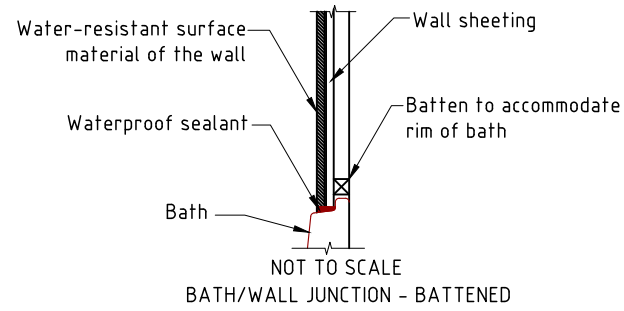
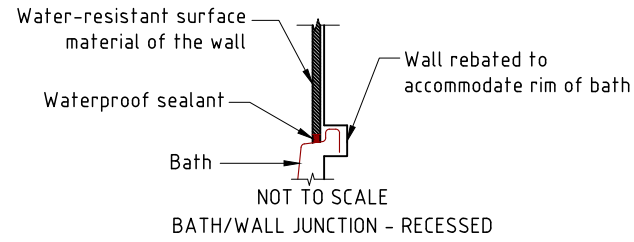
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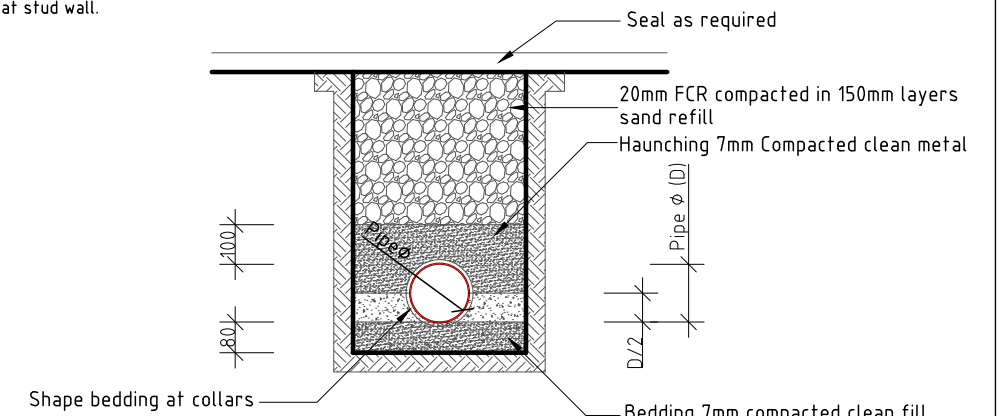
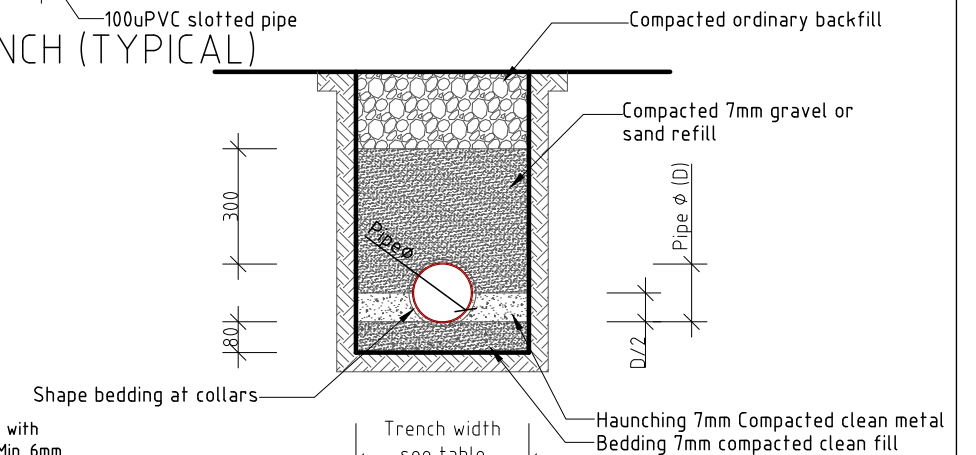
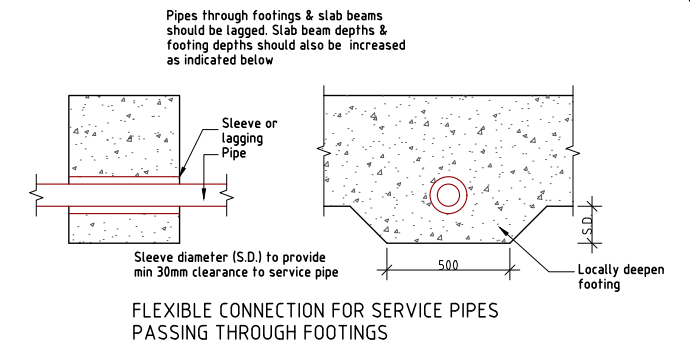
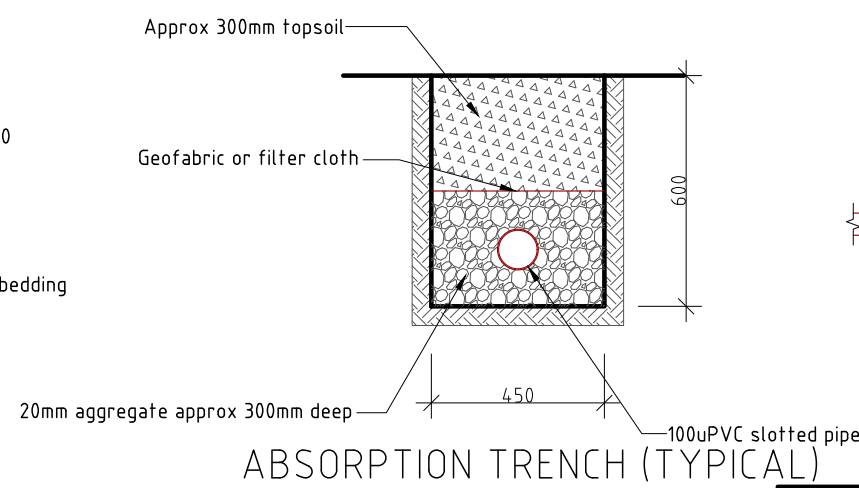
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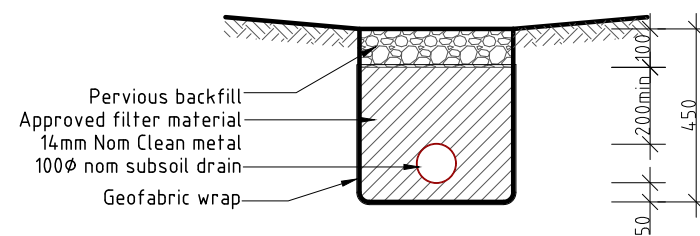


Seal all joints, gaps & wall junctions with PVA sealant - cover floor/wall junctions min R6: 2 coats of approved PVA membrane installed to manufacturers instructions, including both tape to wall junctions and penetrations. To floor, continue 50mm up vertical surfaces & to shower bay 1800x1500 each way from shower rose or to shower screen. To timber skirting or door architrave to stop <25mm above finished floor level.



Surface drainage to conform with NCC Vol. 2 Part H2D2. NOTE: 50mm fall required over first 1m from building.

IMPORTANT NOTICE FOR ATTENTION OF OWNER:
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSRIO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.



TYPICAL AGG DRAIN DETAIL
NOTE: All materials and construction to comply with AS3500.3:2021

TRENCH WIDTHS	
Pipe diameter	Min trench width
Less than 50mm	250
75-100mm	450
150-300mm	600
>300mm	Ø plus 300mm

**DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION**

PROPOSED RESIDENCE FOR
TAYLOR AND BEESON CONSTRUCTION PTY LTD AT
38 NAPA STREET, HOWRAH

PLUMBING DETAILS

SCALE 1:20
0 200 400

DATE
18/06/2024

DRAWING NO.
05 OF 07

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WET AREAS TO COMPLY WITH NCC VOL. 2 PART H4D2, ABCB HOUSING PROVISIONS PART 10.2 AND AS 3740

WATERPROOFING OF ENCLOSED & UNENCLOSED SHOWERS:
FLOOR: Waterproof entire floor if no preformed shower base provided
WALLS: Waterproof to not less than 1800mm above the floor substrate
WALL JUNCTIONS AND JOINTS: Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof internal and external corners and joints
PENETRATIONS: Waterproof all penetrations

AREAS OUTSIDE THE SHOWER ON CONCRETE SLAB OR FC FLOORING:
FLOORS: Entire floor to be water resistant
WALLS/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm

AREAS OUTSIDE THE SHOWER ON TIMBER FLOOR:
FLOORS: Waterproof entire floor
WALL/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm.

AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS (without showers):
FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
WALLS: Water resistant walls to a height of not less than 150mm above the vessels, for the full extent, where the vessel is within 75mm of a wall.
WALL JUNCTIONS AND JOINTS: Water resistant within 150mm above the vessel for the extent of the vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof for the extent of the vessel

AREAS ADJACENT TO INSERTED BATHS AND SPAS (without showers):
FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
HORIZONTAL SURFACES: Waterproof shelf adjoining bath or spa and include a waterstop under the vessel lip
WALLS: Waterproof walls to not less than 150mm above the lip of the vessel
WALL JUNCTIONS AND JOINTS: Waterproof junctions within 150mm of vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof wall/floor junctions 25mm above finished floor level
PENETRATIONS: Waterproof penetrations where they occur in horizontal surfaces, seal penetrations where they occur in vertical surfaces

OTHER AREAS (LAUNDRIES AND WCs):
FLOOR: Water resistant floor to entire room
WALLS: Water resistant wall to a height of not less than 150mm above the vessel for the extent of the vessel, where the vessel is within 75mm of wall
WALL JUNCTIONS AND JOINTS: Waterproof junctions where a vessel is fixed to a wall
WALL/FLOOR JUNCTIONS: Water resistant wall/floor junctions with horizontal leg not less than 40mm where flashing used
PENETRATIONS: Waterproof penetrations where they occur in surfaces required to be waterproof or water resistant.

WATERPROOFING SYSTEMS:
 Waterproofing systems to be in accordance with ABCB Housing Provisions Part 10.2.6.

FALLS TO WET AREA FLOORS:
 Where a floor waste is installed the continuous fall of a floor plane to the waste must be no less than 1:80 and no more than 1:50.

STEPDOWN SHOWERS:
 Where stepdown showers are used, the shower area must be stepped down a minimum of 25mm below the finished floor level outside the shower. Refer to ABCB Housing Provisions Part 10.2.15 & relevant figures for details.

HOB CONSTRUCTION:
 Shower hobs are to be constructed in accordance with ABCB Housing Provisions Part 10.2.16.

ENCLOSED SHOWERS WITH LEVEL THRESHOLD:
 Enclosed showers with a level threshold must be provided with a waterstop in accordance with ABCB Housing Provisions Part 10.2.17 & relevant figures.

UNENCLOSED SHOWERS:
 Unenclosed showers are to have a waterstop min. 1500mm from the shower rose with the vertical leg finishing flush with the top surface of the floor. Waterproof all all joints and junctions. Waterproof entire bathroom floor where unenclosed showers are installed. Refer to ABCB Housing Provisions Part 10.2.18 & relevant figures for details.

PENETRATIONS:
 All penetrations in showers and wet areas must be waterproofed in accordance with ABCB Housing Provisions part 10.2.23.

FLASHINGS/JUNCTIONS:
 All flashings and junctions in wet areas to be installed in accordance with ABCB Housing Provisions Part 10.2.24 & relevant figures.

SHOWER SCREENS:
 1900H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.6 & AS 1288:2021. Minimum 6mm toughened safety organic coated glass, labelled to comply with industry standards. Install shower screens in accordance with ABCB Housing Provisions Part 10.2.32.

- HYDRAULIC NOTES:**
- All plumbing shall be in accordance with the Tasmanian Plumbing Regulations, AS 3500 and to the local authority approval.
 - The location of the existing services where shown are approximate only and shall be confirmed on site where possible. Determine location of existing power, Telstra, water and drainage services prior to commencing new work.
 - Conceal all pipework in ceiling space, ducts, cavities, wall chases, cupboards etc. unless otherwise approved.
 - Refer to designers drawings and fixture and equipment technical specifications for pipework connections.
 - Make good all disturbed surfaces to match existing.
 - Remove all excess soil and surplus materials from site.
 - All plumbing to be installed by a licensed plumber.

Install inspection openings at major bends for stormwater and all low points of downpipes.
 All plumbing & drainage to be in accordance with local Council requirements. Provide surface drain to back of bulk excavation to drain leveled pad prior to commencing footing excavation.
 Stormwater line (100mm uPVC)
 Sewer line (100mm uPVC)

SERVICES
 The heated water system must be designed & installed with Part B2 of NCC Vol. 3 - Plumbing Code of Australia
 Thermal insulation for heated water piping must:
 a) be protected against the effects of weather and sunlight; and
 b) be able to withstand the temperatures within the piping; and
 c) use thermal insulation in accordance with AS/NZS 4859.1

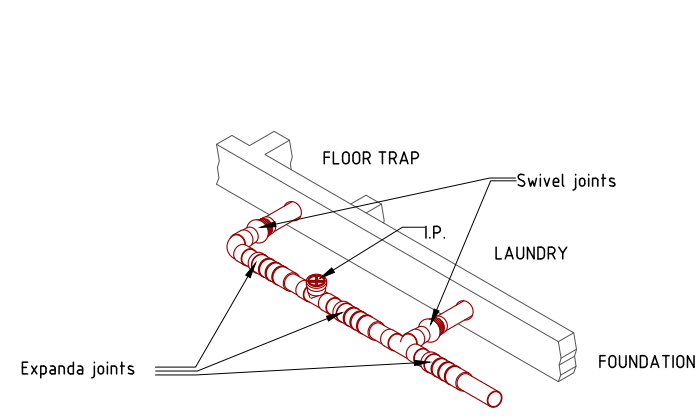
Heated water piping that is not within a conditioned space must be thermally insulated as follows:

- Internal piping:
 - All flow and return internal piping that is -
 - within an unventilated wall spaces
 - within an internal floor between storeys; or
 - between ceiling and insulation and a ceiling
 Must have a minimum R-value of 0.2 (ie. 9mm of closed cell polymer insulation)
- Piping located within a ventilated wall space, an enclosed building subfloor or a roof space:
 - All flow and return piping
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.45 (ie. 19mm of closed cell polymer insulation)
- Piping located outside the building or in an unenclosed building sub-floor or roof space:
 - All flow and return piping.
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.6 (ie. 25mm of closed cell polymer insulation)
 Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

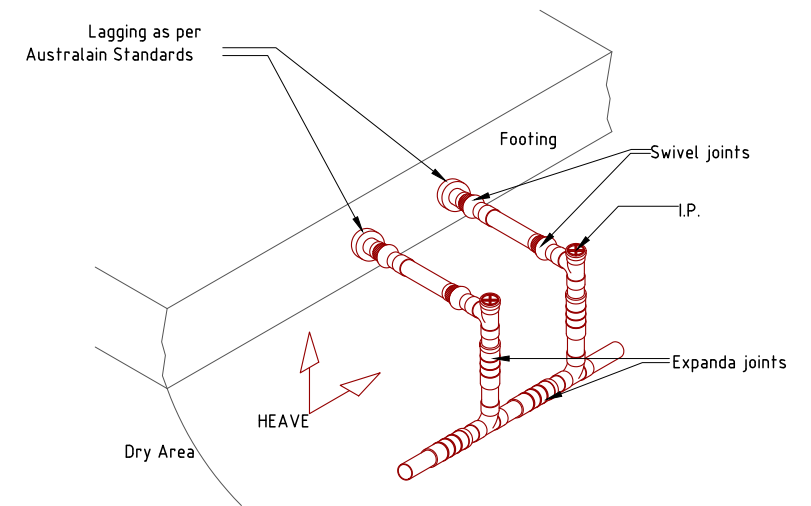
Hot & Cold Water Nominal Diameters	
Branch off takes	Min. DN20
Max. off take length 6m	DN18
Max. off take length 3m	DN15
Max. off take length 1m	DN10

Insulation Schedule		
Heated water pipes Type	Size Range	Insulation
Circulating Line	32-40	25mm Rockwool with foil wrap
Branch Line Offtake	20-25 18	19mm Bradflex 13mm Bradflex
Cold water pipes exposed		
Type	Size Range	Insulation
All	>20	13mm Bradflex
Other cold water pipes		
Type	Size Range	Insulation
All	All	Not required

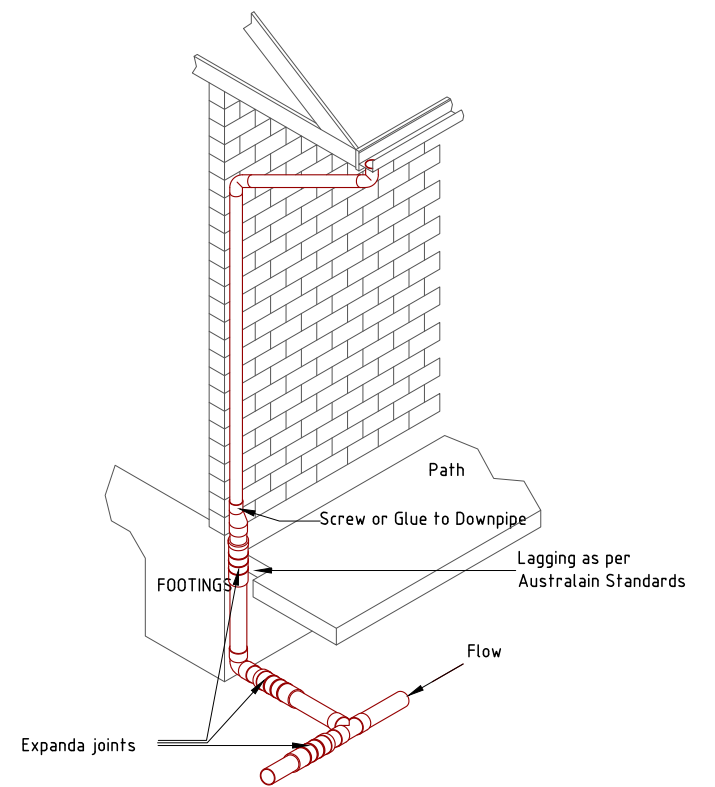
NOTE: Water pipes associated directly with plan equipment shall be insulated in accordance with the manufacturers instructions for a typical installation



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS

Surface drainage to conform with NCC Vol. 2 Part H2D2. NOTE: 50mm fall required over first 1m from building.

IMPORTANT NOTICE FOR ATTENTION OF OWNER:
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**DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION**

PROPOSED RESIDENCE FOR TAYLOR AND BEESON CONSTRUCTION PTY LTD AT 38 NAPA STREET, HOWRAH	PLUMBING NOTES		DATE 18/06/2024	DRAWN BY J.TILLEY email: jttilley7@biopond.com phone ph 0400 671 582
	SCALE N/A	AMENDED	DRAWING NO. 06 OF 07	Certified: G. Tilley Accreditation No. CC620H © copyright 2023 1524

All Construction within a BAL-12.5 area shall be carried out in accordance with Sections 3 & 5 of AS3959:2018.

Subfloor supports shall be enclosed or be constructed of non-combustible material in accordance with Section 5 of AS3959:2018.

Unenclosed subfloors shall be constructed of non-combustible materials or bushfire resistant timbers as specified in Appendix F of AS3959:2018.

Walls within 400mm of ground or less than 400mm above decks, carport roofs, awnings and similar elements shall be constructed of:

- masonry veneer with a minimum thickness of 90mm; or
- Precast or in situ concrete walls; or
- fibre-cement sheet cladding with a minimum thickness of 6mm; or
- Bushfire resisting timber as specified in Appendix F of AS3959:2018; or
- Steel sheeting

All joints in walls are to be covered, sealed, overlapped, backed or butt-jointed.

Vents and weepholes shall be screened with corrosion-resistant mesh with maximum aperture opening sizes of 2mm.

All external glazed doors & windows shall be made of metal and shall be screened to openable portions with metal framed screens with maximum aperture opening sizes of 2mm. All glazing elements to be minimum 4mm thick Grade A safety glass. Doors to be tight-fitting to the frame.

External hinged doors to be a minimum 35mm thick, with solid timber for a minimum of 400mm measured vertically above the threshold. Door framing to be metal or bushfire resisting timber as specified in Appendix F of AS3959:2018. All external doors to be tight-fitting to frames.

Garage doors shall be constructed of non-combustible material or bushfire resisting timber as specified in Appendix F of AS3959:2018 for a minimum vertical height of 400mm above the ground when the door is closed. Suitable weather strips and draught seals or brushes to be fitted to door frame if guide tracks not provided.

All roofing materials to be of non-combustible materials. All roof/wall and roof/roof junctions shall be sealed with appropriate screening with maximum mesh aperture size of 2mm in accordance with Clause 3.6 of AS3959:2018. Sheet roof shall have any gaps sealed with corrosion-resistant mesh with maximum aperture size of 2mm.

All eave and roof ventilation to be screened with non-combustible ember resistant mesh with maximum mesh aperture size of 2mm. Eave lighting to be adequately sealed and not compromise the performance of the light.

All Verandah, carport and awnings roofs that are part of the main roof space to comply with roof BAL requirements. If verandah, carport or awning roof separated from the main roof space, shall have a non-combustible roof covering, except if roof covering is translucent or transparent, in accordance with Section 5 of AS3959:2018.

Penetrations in roof to be sealed with non-combustible materials. Openings to roof vent pipes or vented roof lights or similar shall be protected with corrosion-resistant mesh with maximum aperture size of 2mm.

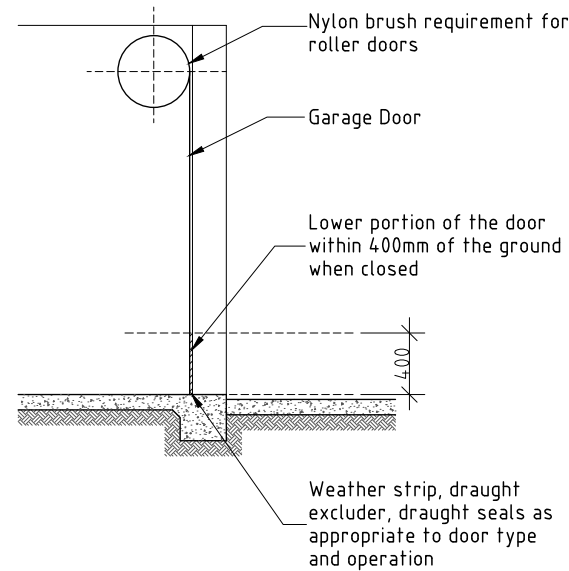
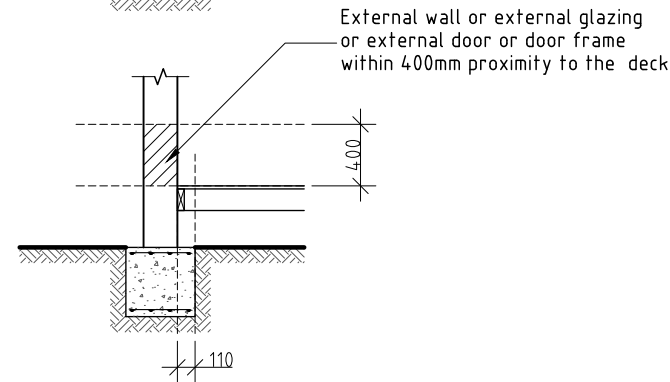
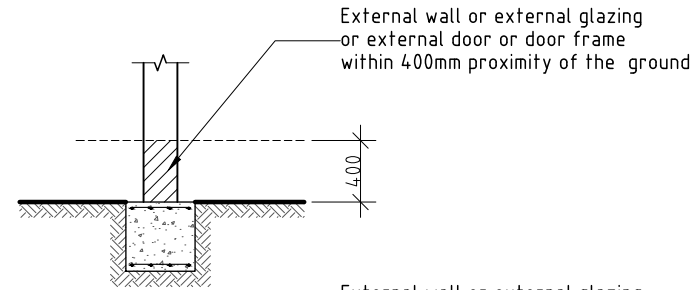
Roof mounted evaporative cooling units shall be fitted with non-combustible cover with corrosion-resistant mesh covers with max. mesh aperture sizes of 2mm.

Gutter and valley leaf guards shall be of non-combustible material where fitted.

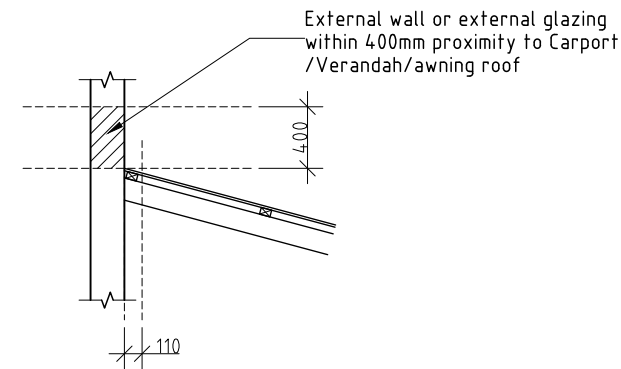
All decking and stair treads within 300mm horizontally of an external glazed element that is less than 400mm vertically from the surface of the deck, is to be of bushfire resistant timber as specified in Appendix F of AS3959:2018, or be constructed of non-combustible material.

Verandah posts shall be mounted on galvanized stirrups with min 75mm clearance to adjacent finished ground level.

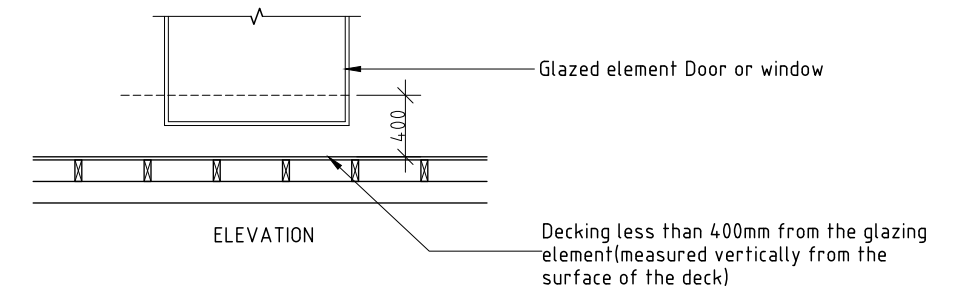
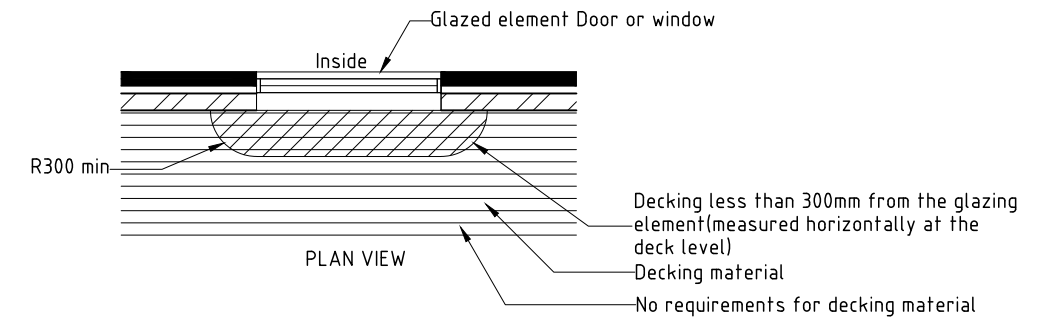
All exposed above ground water and gas supply pipes shall be metal.



VEHICLE ACCESS DOOR (GARAGE DOORS)
SCALE 1:50



EXTERNAL WALLS OR EXTERNAL GLAZING, OR EXTERNAL DOORFRAMES WITHIN THE LIMITS ABOVE GROUND, DECKS, CARPORT ROOFS
SCALE 1:50



DECKING WITHIN HORIZONTAL & VERTICAL LIMITS OF GLAZED ELEMENTS
SCALE 1:50

TABLE F1 OF AS3959
BUSHFIRE-RESISTANT SPECIES

Standard trade name	Botanical name
Ash, silvertop	Eucalyptus sieberi
Blackbutt	Eucalyptus pilularis
Gum, red river	Eucalyptus camaldulensis
Gum, spotted	Corymbia maculata
Ironbark, red	Eucalyptus sideroxyton
Kwila (Merbau)	Intsia bijuga
Turpentine	Syncarpia glomulifera

DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR
TAYLOR AND BEESON CONSTRUCTION PTY LTD AT
38 NAPA STREET, HOWRAH

BAL 12.5 NOTES

SCALE 1:50
0 500 1000

AMENDED

DATE
18/06/2024

DRAWING NO.
07 OF 07

DRAWN BY J.TILLEY
email: jttilley7@biopond.com
phone ph 0400 671 582

Certified: G. Tilley Accreditation No. CC620H
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SEARCH OF TORRENS TITLE

VOLUME 177495	FOLIO 84
EDITION 3	DATE OF ISSUE 26-Aug-2021

SEARCH DATE : 28-May-2024

SEARCH TIME : 03.20 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 84 on Sealed Plan 177495

Derivation : Part of 23A-2R-0P Gtd. to Charles Chipman

Prior CT 177319/200

SCHEDULE 1

M908513 TRANSFER to TAIMUR ANWAR Registered 26-Aug-2021 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP177495 COVENANTS in Schedule of Easements

SP177495 FENCING PROVISION in Schedule of Easements

SP129595, SP170771, SP173256, SP174563 & SP177319 COVENANTS in Schedule of Easements

SP114229 FENCING COVENANT in Schedule of Easements

SP129595, SP170771, SP173256, SP174563 & SP177319 FENCING PROVISION in Schedule of Easements

SP114229 SEWERAGE AND/OR DRAINAGE RESTRICTION

SP129595 COUNCIL NOTIFICATION under Section 83(5) of the Local Government (Building and Miscellaneous Provisions) Act 1993.

E28609 AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 04-Feb-2016 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

N194706 PRIORITY NOTICE reserving priority for 90 days
TRANSFER TAIMUR ANWAR to ZI YANG CHUAH and KIM THU THAO NGUYEN
MORTGAGE ZI YANG CHUAH and KIM THU THAO NGUYEN to ANZ BANKING GROUP LIMITED Lodged by SIMMONS WOLFHAGEN on 16-Apr-2024 BP: N194706

E383225 MORTGAGE to Australia and New Zealand Banking Group Limited Lodged by DYE & DURHAM (ANZ) on 16-May-2024

BP: N194697

N194697 TRANSFER to ZI YANG CHUAH and KIM THU THAO NGUYEN
Lodged by DYE & DURHAM (ANZ) on 16-May-2024 BP:
N194697

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 177495

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

^ 201
Lots 47 & 72-74 are each subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked DRAINAGE EASEMENT 3.00 WIDE passing through such on the plan
(CSP177319)

^ 201 & 202 are each
Lot 83 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE, SERVICES & DRAINAGE EASEMENT 3.00 WIDE passing that lot on the plan
(CSP177319)

^ 201 & 202 are each
Lot 83 is subject to a PIPELINE AND SERVICES EASEMENT in gross as defined herein (in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns) ("TasWater") over the land marked PIPELINE, SERVICES & DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the Plan ("the Easement Land")
(CSP177319)

Lot 202 is subject to a right of carriageway (appurtenant to lot 96 on Sealed Plan 170771) over the land marked RIGHT OF WAY (PRIVATE) 4.00 WIDE passing through that lot on the plan
(SP170771)

Lot 202 is subject to a right of carriageway (appurtenant to lot 202 on Sealed Plan 177319) over the land marked RIGHT OF WAY (PRIVATE) 4.00 WIDE passing through that lot on the plan
(SP170771)

Lot 202 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE, SERVICES & DRAINAGE EASEMENT 3.00 WIDE, DRAINAGE EASEMENT 3.00 WIDE & DRAINAGE EASEMENT 4.00 WIDE passing through that lot on the plan
(CSP177319) (SP177319)
(CSP177319)

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: HOBART PROPERTIES & SECURITIES P/L	PLAN SEALED BY: CLARENCE CITY COUNCIL
FOLIO REF: 177319-200	DATE: 26 July 2019
SOLICITOR: ROBERTS & PARTNERS LAWYERS	SD-2015/35 REF NO.
 C. Mea Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 177495</p>
<p>SUBDIVIDER: : HOBART PROPERTIES & SECURITIES P/L FOLIO REFERENCE: 177319-200</p>	

Lot 202 is subject to a PIPELINE AND SERVICES EASEMENT in gross as defined herein (in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns) ("TasWater") over the land marked PIPELINE, SERVICES & DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the Plan ("the Easement Land")

COVENANTS

The owners of the lots on the plan are affected by covenants created by and more fully set forth in Sealed Plan 129595, Sealed Plan 170771, Sealed Plan 173256, Sealed Plan 174563, Sealed Plan 175965 and Sealed Plan 177319

FENCING PROVISION

In respect to the lots on the plan the vendor (Hobart Properties & Securities Pty Ltd) shall not be required to fence

INTERPRETATION

The Pipeline and Services Easement is defined as follows:-

THE FULL RIGHT AND LIBERTY for the TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
 - (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons

I N Roberts: 

W A Roberts: 

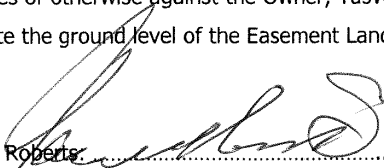
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

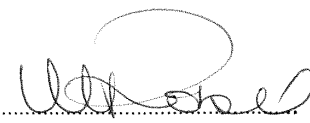
<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 177495</p>
<p>SUBDIVIDER: : HOBART PROPERTIES & SECURITIES P/L FOLIO REFERENCE: 177319-200</p>	

- authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained (which cannot be unreasonably refused) and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or

I N Roberts 

W A Roberts: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

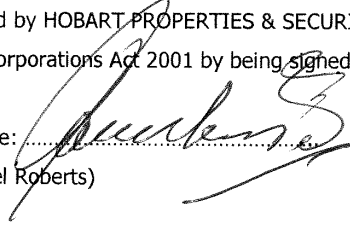
<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 177495</p>
<p>SUBDIVIDER: : HOBART PROPERTIES & SECURITIES P/L FOLIO REFERENCE: 177319-200</p>	

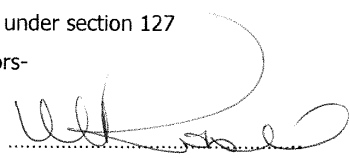
- (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
- (c) replace anything that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

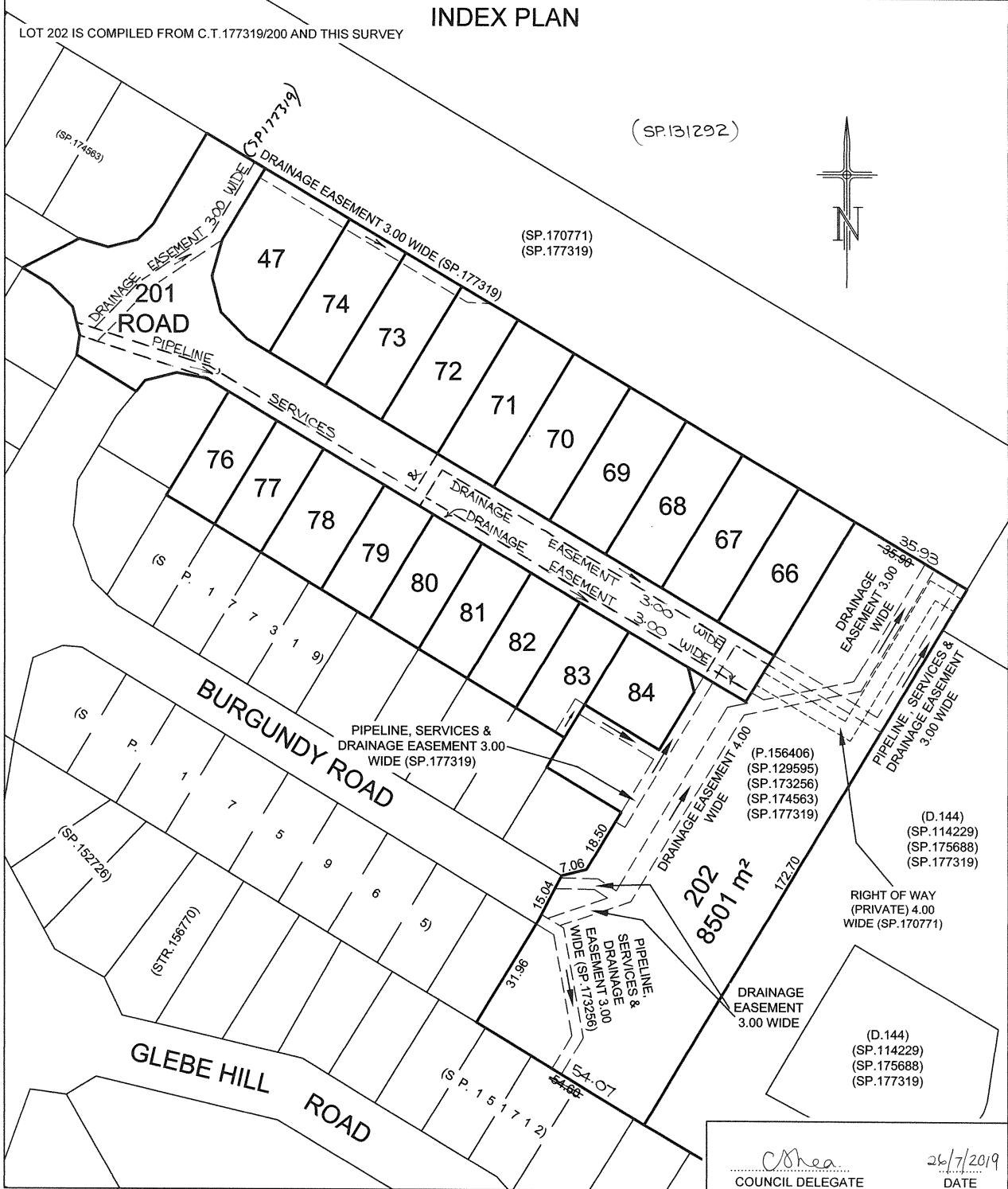
Executed by HOBART PROPERTIES & SECURITIES PTY LTD under section 127 of the Corporations Act 2001 by being signed by two directors-

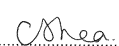
Signature: 
(Ian Noel Roberts)

Signature: 
(Wendy Amanda Roberts)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

OWNER: HOBART PROPERTIES & SECURITIES PTY LTD FOLIO REFERENCE: C.T. 177319/200 GRANTEE: Part of 23A-2R-0P Gtd. to Charles Chipman.	PLAN of SURVEY		REGISTERED NUMBER SP177495
	BY SURVEYOR: NICHOLAS GRIGGS of Nick Griggs & Co. 295 Elizabeth Street, North Hobart, 7000 Ph: 6234 5022 Fax: 6231 2412		APPROVED EFFECTIVE FROM: 14 AUG 2019
LOCATION: CITY OF CLARENCE		SCALE: 1: 1000	DEPUTY Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 107 (5225)	LAST UPI No.	LAST PLAN No. SP.177319	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN.




 COUNCIL DELEGATE

26/7/2019
 DATE

