



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/044606

PROPOSAL: Warehouse

LOCATION: 2 Lockheed Place, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 15 July 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 15 July 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 15 July 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Commercial Warehouses

Location:

Address 2 Lockheed Place

Suburb/Town Cambridge

Postcode 7170

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$ 900,000

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Vacand Land

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

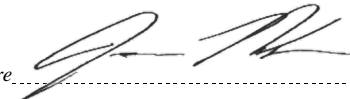
Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

<p>Signature </p>	<p>Date 28/05/24</p>
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PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

SEARCH OF TORRENS TITLE

VOLUME 181251	FOLIO 26
EDITION 2	DATE OF ISSUE 24-Jan-2023

SEARCH DATE : 28-May-2024

SEARCH TIME : 02.46 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 26 on Sealed Plan 181251
 Derivation : Part of 292A-2R-0P Gtd. to William Wallace Fraser
 Prior CT 157367/2

SCHEDULE 1

M936604 TRANSFER to THE G.O.A.T (TAS) PTY LTD Registered
 24-Jan-2023 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP181251 EASEMENTS in Schedule of Easements
 SP181251 COVENANTS in Schedule of Easements
 SP181251 FENCING COVENANT in Schedule of Easements
 SP146586 FENCING COVENANT in Schedule of Easements
 B300322 PROCLAMATION under Section 9A and 52A of the Roads
 and Jetties Act 1935 Registered 22-Sep-1989 at noon
 C30987 PROCLAMATION under Section 52A of the Roads and
 Jetties Act 1935 Registered 24-Jun-1997 at noon
 E329842 MORTGAGE to Australia and New Zealand Banking Group
 Limited Registered 24-Jan-2023 at 12.01 PM

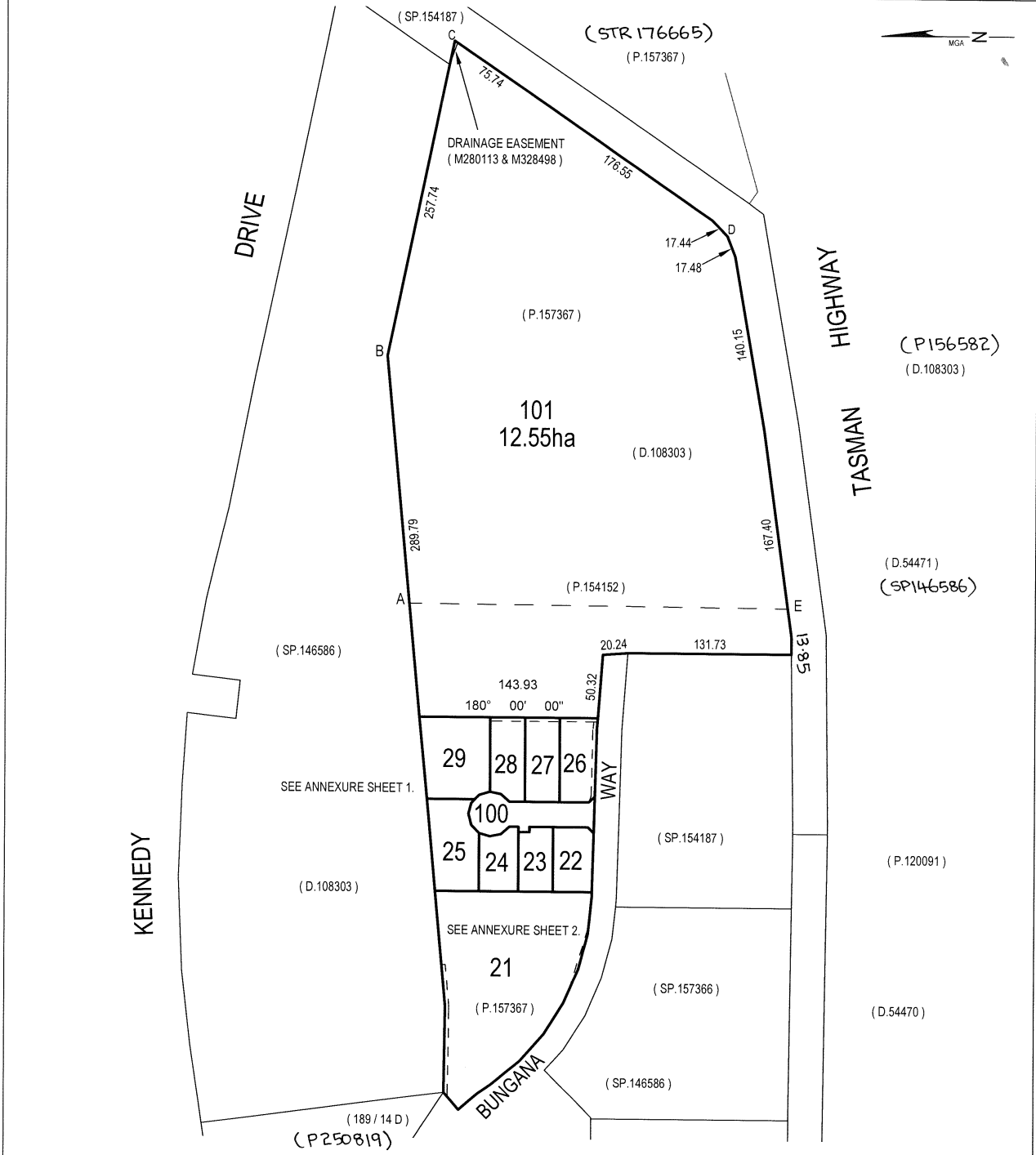
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: CALARDU CAMBRIDGE PTY. LIMITED	PLAN OF SURVEY	REGISTERED NUMBER SP181251
FOLIO REFERENCE: C.T. 157367 - 1 & 2		BY SURVEYOR: T. W. COX of LEARY, COX & CRIPPS SURVEYORS Unit G04 40 Mollie Street, HOBART TAS 7000 P 03 6118 2030 E admin@lccsurvey.com
GRANTEE: PART OF 292 - 2 - 0 GRANTED TO WILLIAM WALLACE FRASER	LOCATION: CITY OF CLARENCE	APPROVED EFFECTIVE FROM - 5 NOV 2021
SCALE 1: 3000	LENGTHS IN METRES	<i>Renner</i> Recorder of Titles

LOT 101 COMPILED FROM P. 157367 & THIS SURVEY

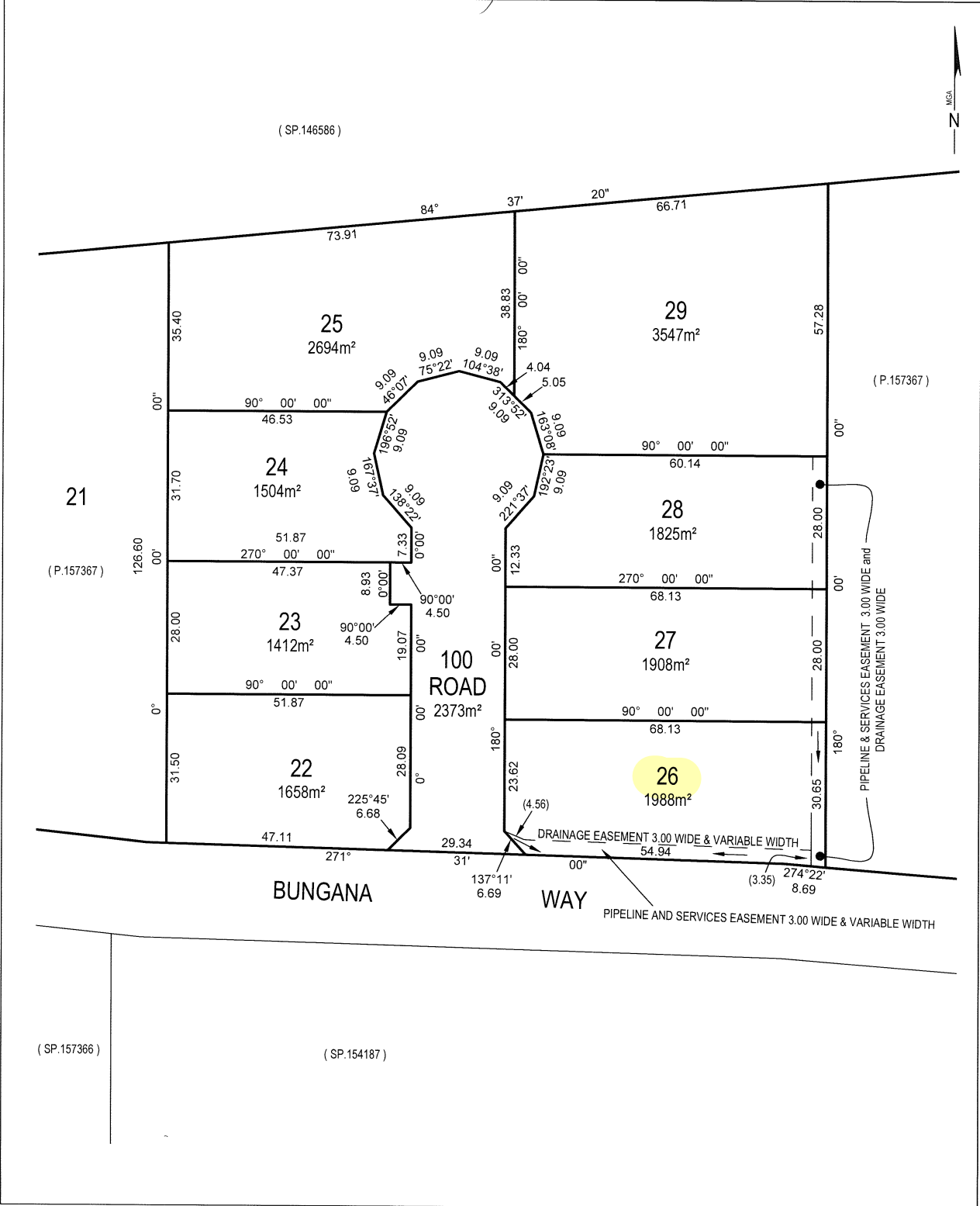
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN


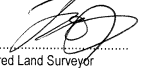



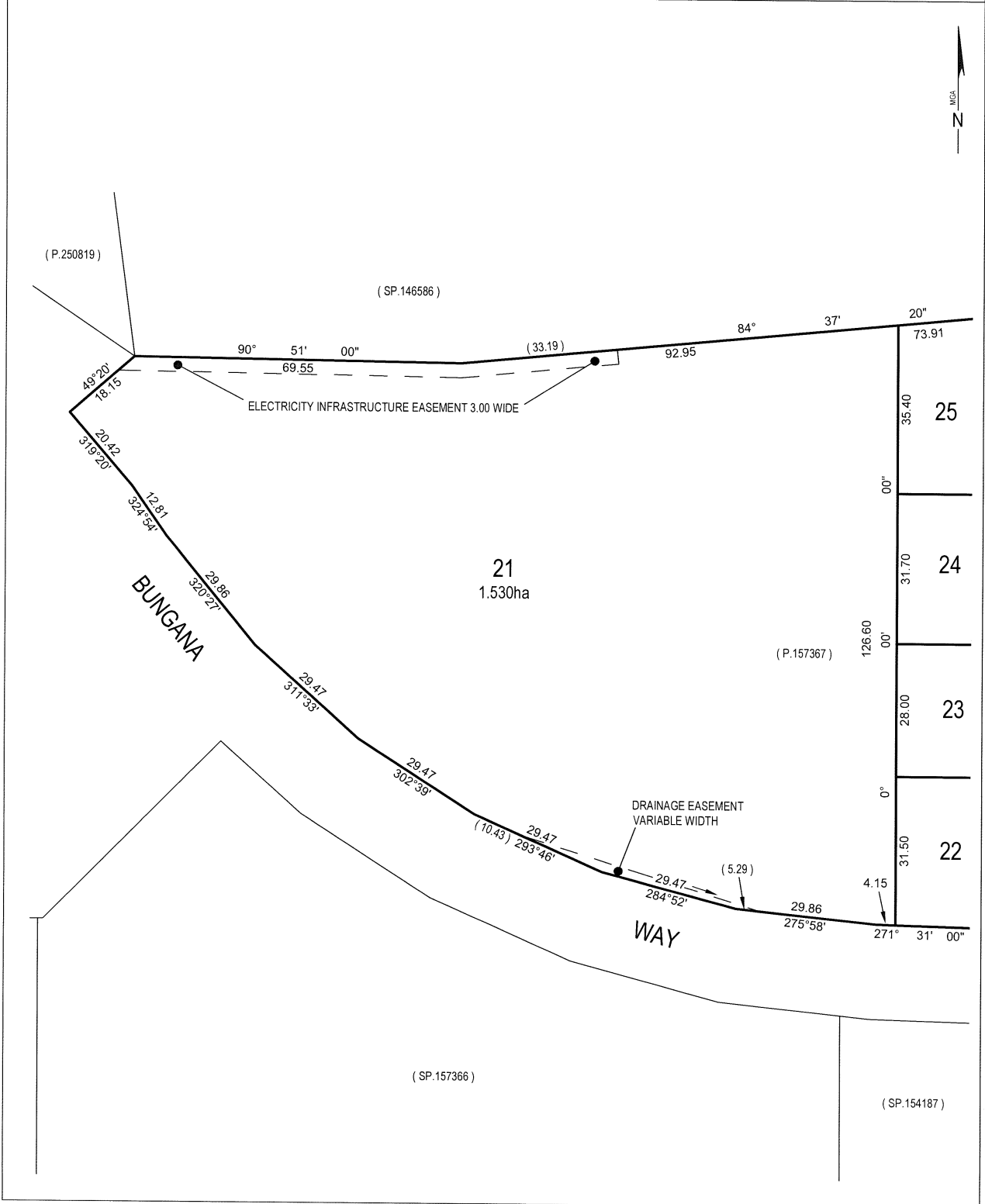
[Signature]
Registered Land Surveyor
Date: 20/4/21

[Signature]
Council Delegate
Date: 29/10/2021

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 2 SHEETS</p>	<p>OWNER: CALARDU CAMBRIDGE PTY. LIMITED</p> <p>FOLIO REFERENCE: C.T. 157367 - 1 & 2</p> <p>SCALE 1: 750 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 181251</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>C. O'neil</i> 29/10/2021 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 2/6/2021 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM - 5 NOV 2021</p> <p><i>[Signature]</i> Recorder of Titles</p>



<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 2 SHEETS</p>	<p>OWNER: CALARDU CAMBRIDGE PTY. LIMITED FOLIO REFERENCE: C.T. 157367 - 1 & 2 SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number SP 181251</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES  Council Delegate 29/10/2021 Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  Registered Land Surveyor 20/4/21 Date</p>	<p>APPROVED EFFECTIVE FROM - 5 NOV 2021  Recorder of Titles</p>



P I N N A C L E

PINNACLE

Type of construction required C2D2 NCC Vol. 1 2022		
Rise in storeys	Class of building 2, 3, 9	Class of building 5, 6, 7, 8
4 or more	A	A
3	A	B
2	B	C
1	C	C

Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

2 Lockheed Place, Cambridge

Owner(s) or Clients	The G.O.A.T	Title Reference	181251/26
Building Classification	5 & 7	Zoning	Particular Purpose - Cambride Commercial Area
Construction Type	C	Land Size	1988m ²
No. of Storeys	2	Design Wind Speed	TBA
Designer	Jason Nickerson CC6073Y	Soil Classification	TBA
Total Floor Area	762.27m ²	Climate Zone	7
Alpine Area	N/A	Corrosion Environment	Low
Other Hazards	Airport Obstacle Limitation Area, Flood Prone Areas, Airport Noise Exposure Area	Bushfire Attack Level (BAL)	N/A

(e.g. High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)

ID	Sheet Name	Issue
A.01	Site Plan	DA-01
A.02	Heavy Vehicle access Access IN	DA-01
A.03	Heavy Vehicle Access OUT	DA-01
A.04	Floor Plan - Lower	DA-01
A.05	Floor Plan - Upper	DA-01
A.06	Elevations	DA-01
A.07	Elevations	DA-01
A.08	Landscaping Plan	DA-01
A.09	Planting Schedule & Details	DA-01

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 Volume 1.

Surface water, resulting from a storm having an annual exceedance probability of 1%, must not enter the building.

Limitations

F1P2 does not apply to-
 (a) Class 7 or 8 building where in the particular case there is no necessity for compliance; or
 (b) a garage, tool shed, sanitary compartment, or the like, forming part of a building used for other purposes; or an open spectator stand or open-deck carpark.

Fire Safety

Where a building is more than 500m² or if internal fire hydrants are proposed/installed, a fire hose reel system must be provided in accordance with AS2441.

Fire hose reels must be installed within 4m of an exit or otherwise provided to provide full coverage to the building.

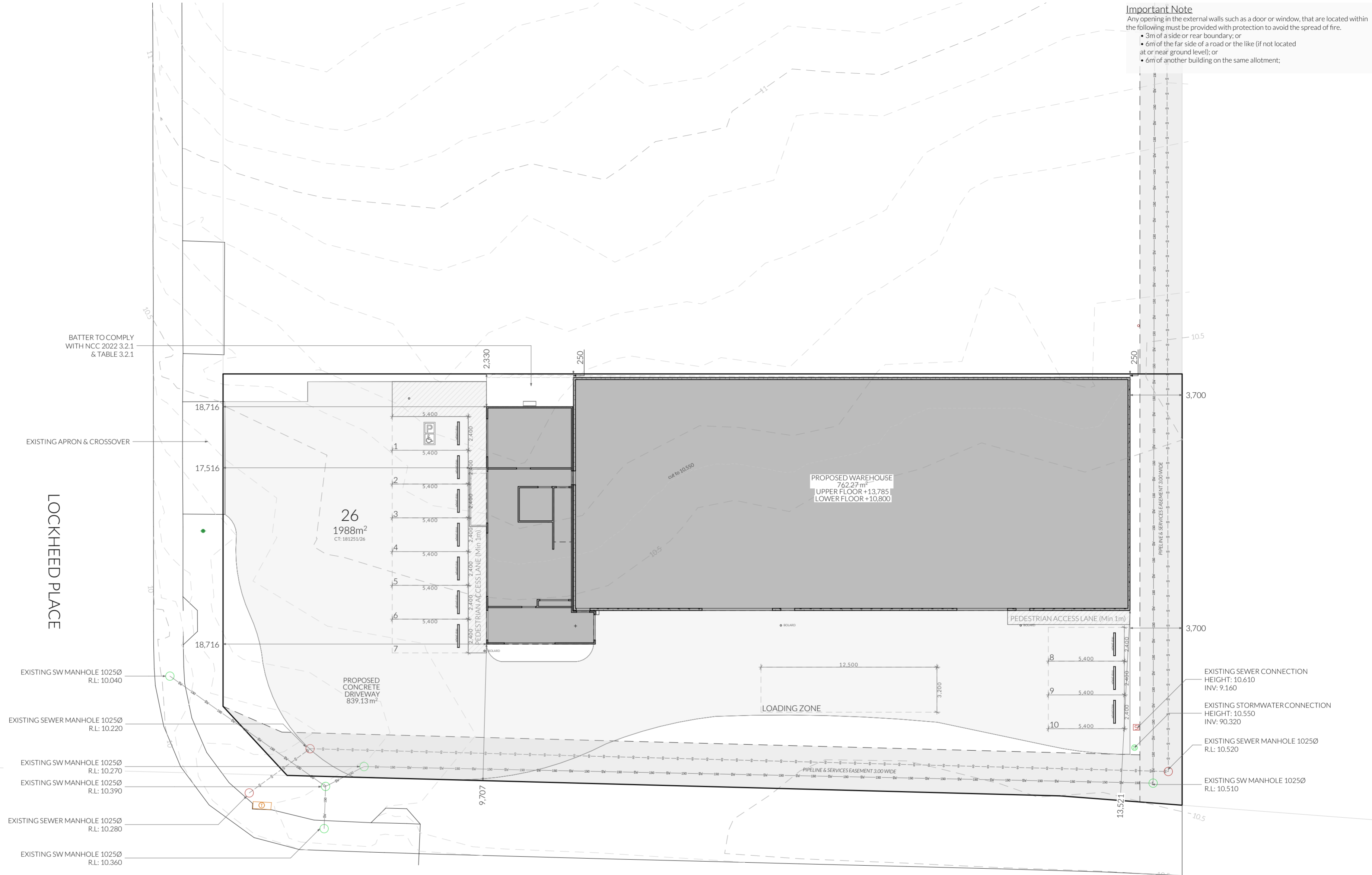
Survey Notes from Surveyor

1. This plan has been prepared by Woolcott Surveys from a combination of existing records and field survey for the purposes of showing the physical features of the land and should not be used for any other purpose.
2. Title boundaries have been compiled and were not verified or marked at the time of this survey.
3. Services shown on this plan were located where possible by field survey. They are not a complete picture of services on site. All service locations are to be verified before commencement of any work on site, in particular those services not previously located through field survey.
4. Woolcott Surveys can not accept liability whatsoever for loss or damage caused to any underground service whether shown by our survey or not. This note is an integral part of this Plan/Data. Reproduction of this plan or any part of it without this note being included in full will render the information shown on such a reproduction invalid and not suitable for use without prior authority of Woolcott Surveys.
5. Horizontal Datum is mga2020 based on s.p.181251.
6. Vertical Datum is ahd'83 based on spm11189.
7. Co-ordinates are plane based on mga2020 at spm11189.
8. Contour interval is 0.1m, index is 0.5m.
- 9.

Important Note

Any opening in the external walls such as a door or window, that are located within the following, must be provided with protection to avoid the spread of fire.

- 3m of a side or rear boundary; or
- 6m of the far side of a road or the like (if not located at or near ground level); or
- 6m of another building on the same allotment;



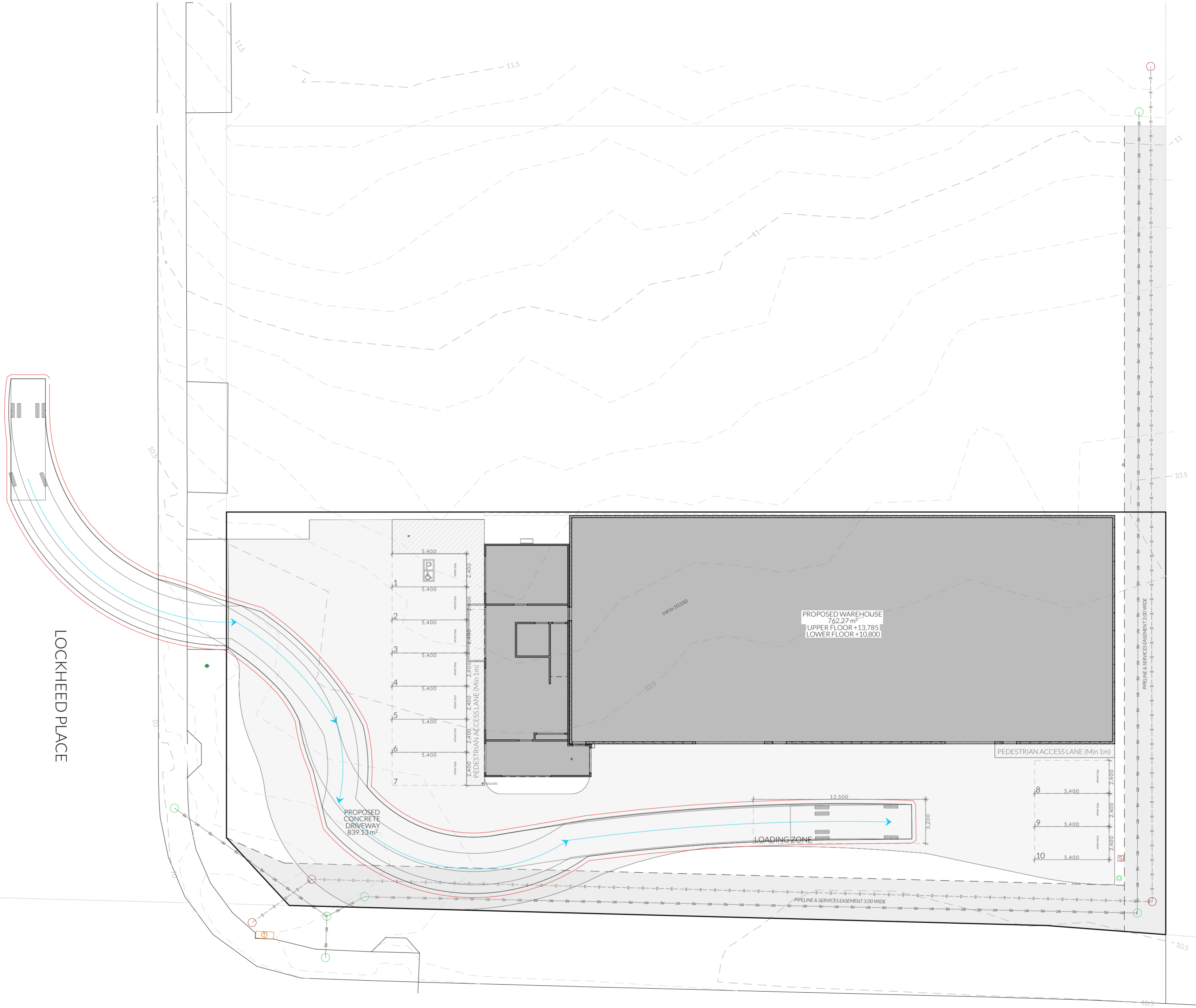
Site Areas

Site Area	1988 m ²
Building Footprint	726.27m ²
Driveway Area	942.79 m ²
Total Impervious Area	83.95%

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Site Plan Revision: DA-01 Approved by: JRD	Scale: 1:200 @ A2 Pg. No: A.01	Proposal: New Commerical Warehouse Client: The G.O.A.T Address: 2 Lockheed Place, Cambridge	Date: 15/05/2024 Drawn by: SH Job No: 003-2024 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse; font-size: 0.7em;"> <thead> <tr> <th style="width: 30%;">Issue Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	Issue Date	Description				These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2024. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any works, works or requiring producing these drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE.	
	Issue Date	Description											
Document Set ID: 5281945 Version: 1, Version Date: 17/06/2024													

Vehicle Movement Notes
 Medium Rigid - Non-Articulated, Single Axle
 Vehicular Turning to the Loading Area Entering in a Forward Direction



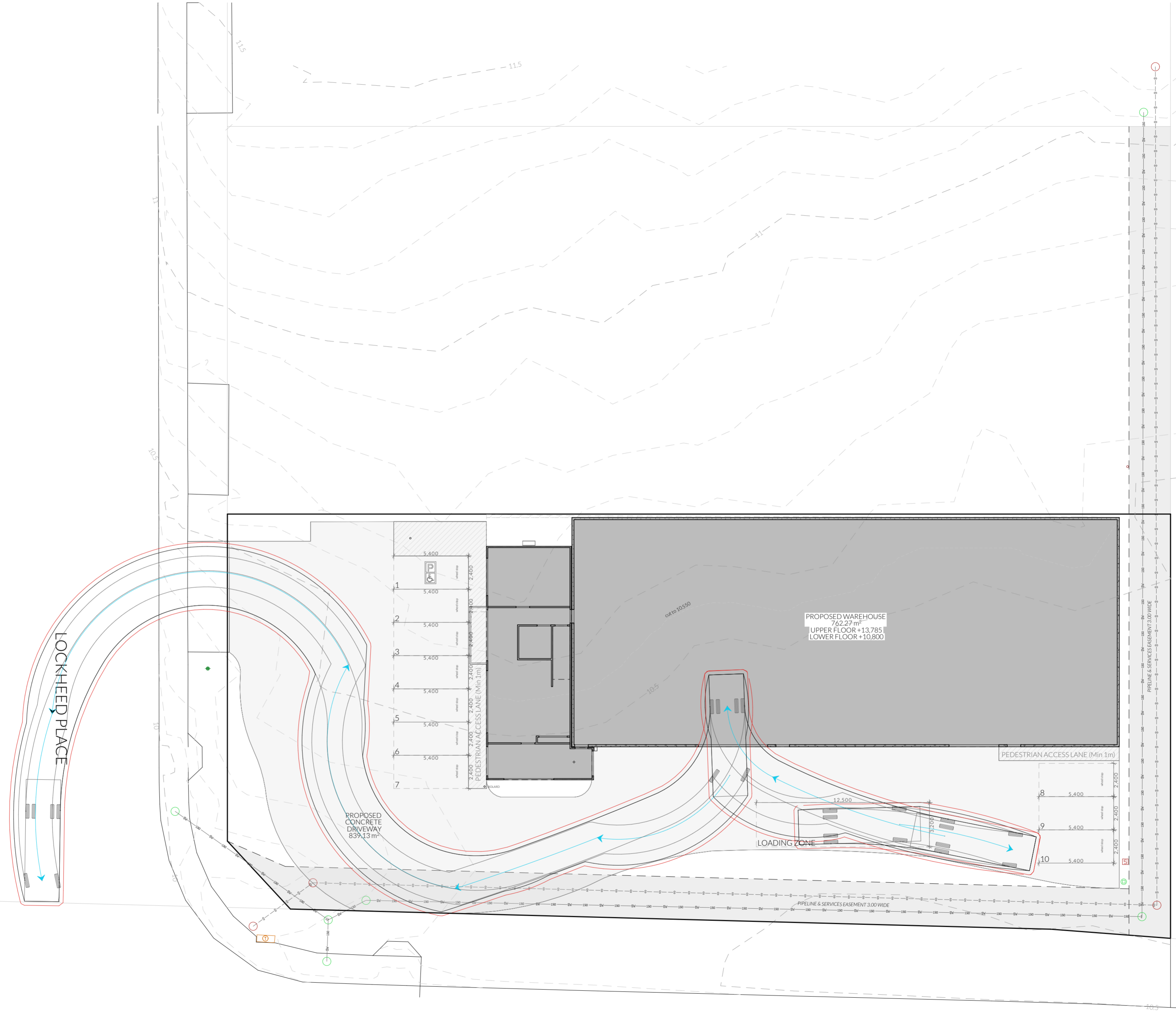
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Vehicle Movement Notes
 Medium Rigid - Non-Articulated, Single Axle
 Vehicular Turning to the Loading Area Exiting in a Forward Direction



NOT FOR CONSTRUCTION BUNGANA WAY

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LEGEND

-  Access Panel
-  Articulation Joint
-  TGS
-  Exit Sign
-  Fire Hose Reel
-  Fire Extinguisher

Doorway identification (Clause 10.1) - AS1428.1:2021

All doorways shall have a minimum luminance contrast of 30% provided between-

- (a) door leaf and door jamb; or
- (b) door leaf and adjacent wall; or
- (c) architrave and wall; or
- (d) door leaf and architrave; or
- (e) door jamb and adjacent wall

The minimum width of the area of luminance shall be 50mm.

Explanation: where it is necessary to achieve sufficient contrast between building elements, this can usually be achieved by using very dark or very light materials.

Continuous accessible paths of travel (Clause 3.1) - AS1428.1:2021

Unless otherwise specified (such as at doors, curved ramps and similar), the minimum unobstructed width of a continuous accessible path of travel shall be 1000 mm and the following shall not intrude into the minimum unobstructed width of a continuous accessible path of travel:

- (a) Fixtures and fittings such as lights, awnings, windows that, when open, intrude into the circulation space, telephones, skirtings and similar objects.
- (b) Essential fixtures and fittings such as fire hose reels, fire extinguishers and switchboards.
- (c) Door handles less than 900 mm above the finished floor level.

Tactile Ground Surface Indicators(TGSIs)

Tactile ground surface indicators (TGSIs) to warn people of hazards shall be in accordance with AS/NZS 1428.4.1. Locations of TGSIs are indicated as per plans. Refer to Legend.

Note: Stair Construction

Stairs must comply with-

- clause 8.1 of AS 1428.1:2021, including the notes; and
- clause 8.2 of AS 1428.1:2021

Stair Risers: Min/Max = 115mm/190mm
 Public Stair Goings: Min/Max = 250mm/355mm
 Quantity Calculation Required ((2xRiser)+Goings):
 Min/Max = 550mm/700mm
 Minimum of 2 risers and maximum of 18 in a flight;
 Not permit a 125mm sphere to pass through between treads;
 Solid construction (i.e. not perforated) if more than 10m high or more than 3 storeys;
 No winders (except internally of a residential apartment);

Artificial Lighting

Artificial lighting must be provided -

- (a) in required stairways, passageways, and ramps; and
- (b) if natural light of a standard equivalent to that required by F6D3 is not available, and the periods of occupation or use of the room or space will create undue hazard to occupants seeking egress in an emergency, in- (iii) Class 3, 5, 6, 7, 8 and 9 buildings - to all rooms that are frequently occupied, all spaces required to be accessible, all corridors, lobbies, internal stairways, other circulation spaces and paths of egress.

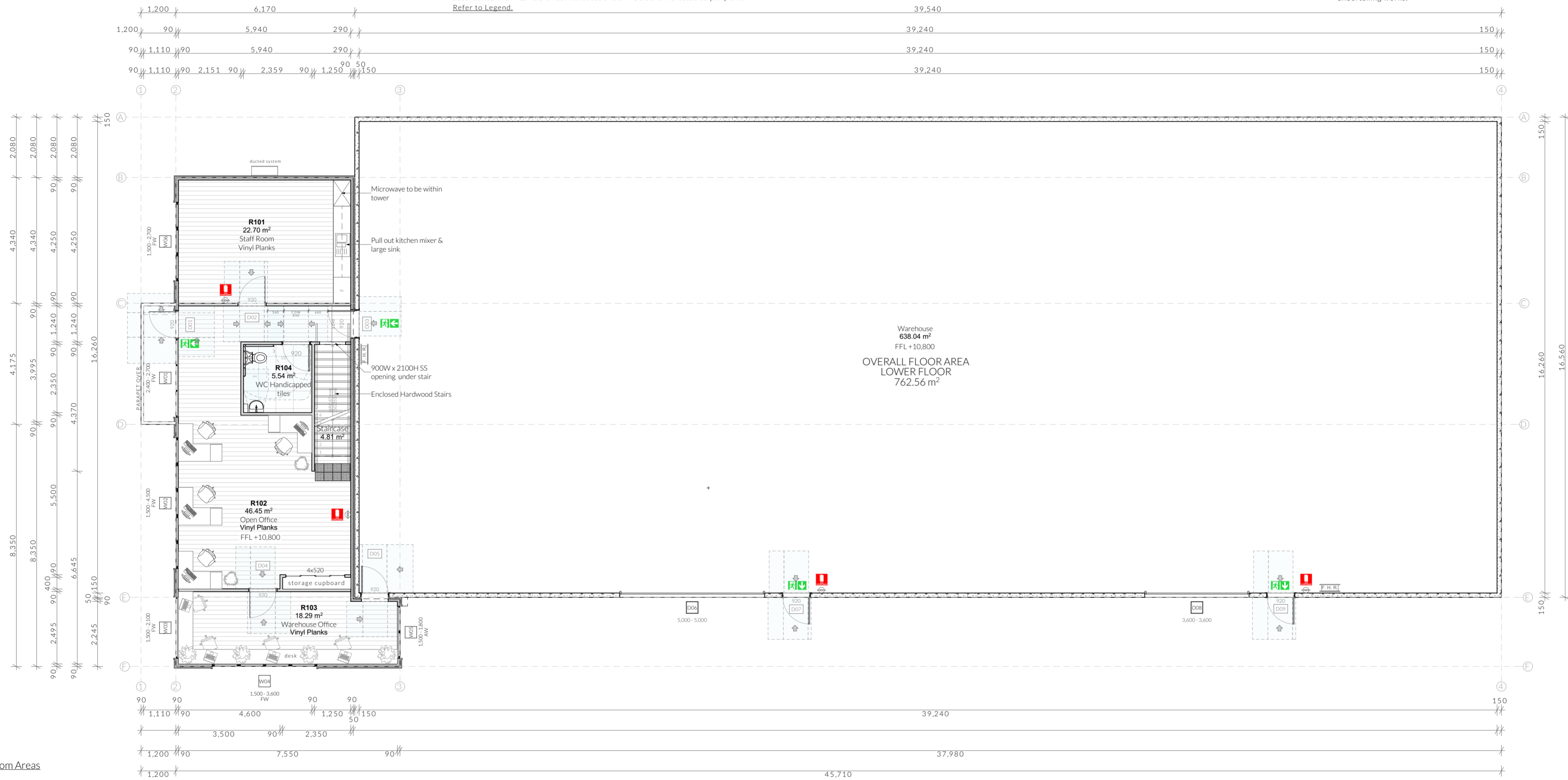
The artificial lighting system must comply with AS/NZS 1680.0.

Heights of rooms & other spaces F5D2 of NCC VOL 1 2022

The height of rooms and other spaces in a Class 5, 6, 7 or 8 building must be not less than-

- (a) for a bathroom, shower room, sanitary compartment, other than an accessible adult change facility, airlock, tea preparation room, pantry, store room, garage, car parking area, or the like - 2.1 m; and
- (b) for a commercial kitchen - 2.4 m; and
- (c) above a stairway, ramp, landing or the like - 2 m measured vertically above the nosing line of stairway treads or the floor surface of the ramp, landing or the like; and for a required accessible adult change facility - 2.4 m.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol 1. Builder to contact Pinnacle before undertaking works.



NOT FOR CONSTRUCTION

LEGEND

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 - (iii) Class 3, 5, 6, 7, 8 and 9 buildings - to all rooms that are frequently occupied, all spaces required to be accessible, all corridors, lobbies, internal stairways, other circulation spaces and paths of egress.

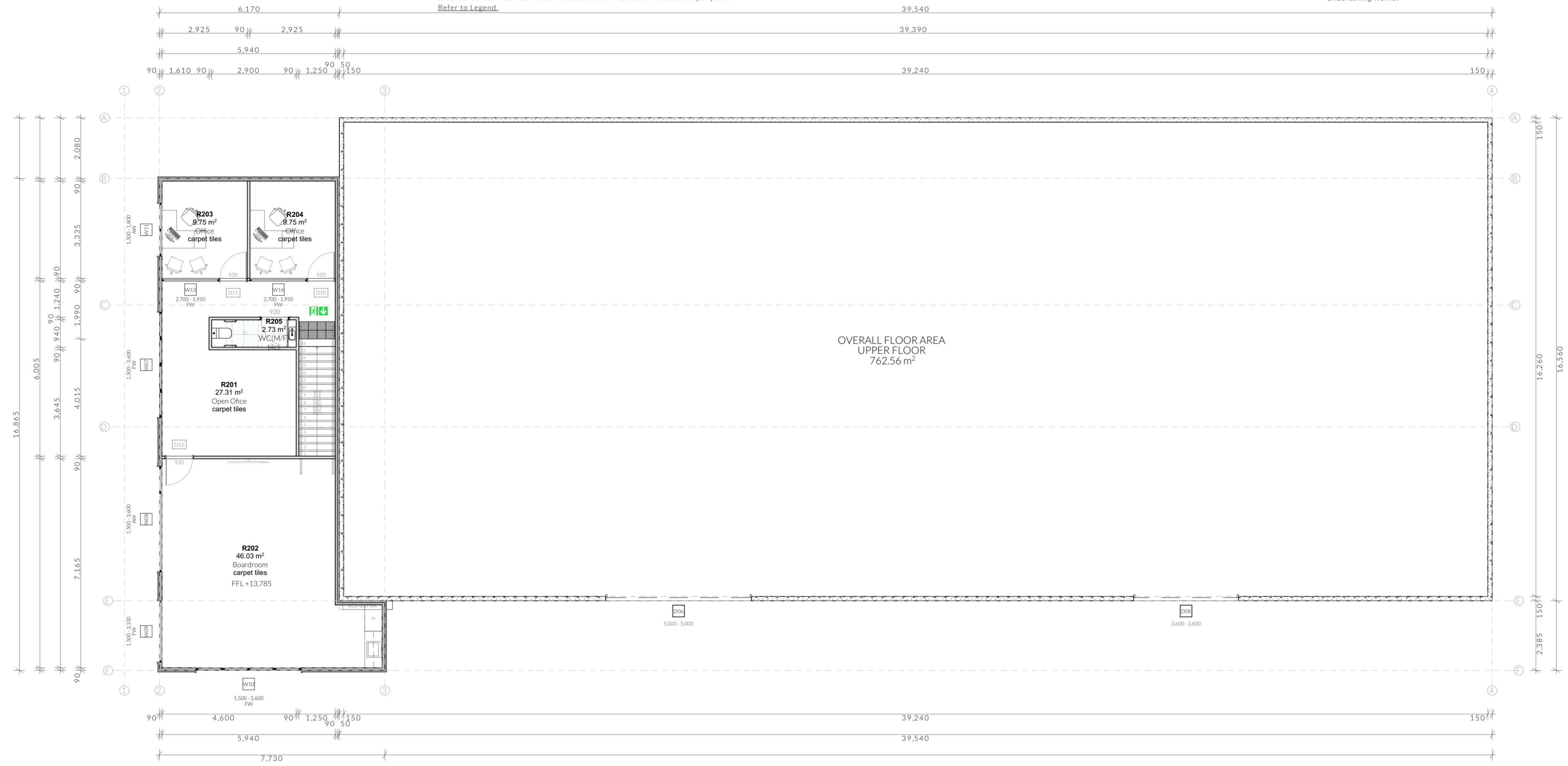
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Internal Room Areas

Warehouse	638.04
Office	9.75
Open Office	27.31
Boardroom	46.03
Office	9.75
WC(M/F)	2.73
Staircase	4.81
Staff Room	22.70
Open Office	46.45
Warehouse Office	18.29
WC Handicapped	5.54

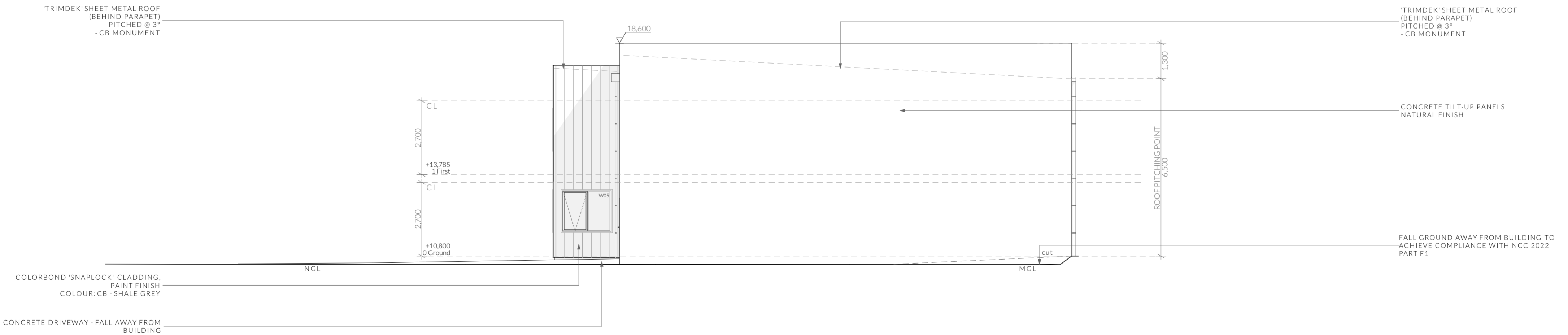
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	PINNACLE DRAFTING & DESIGN 7/3 Abernart Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Floor Plan - Upper Revision: DA-01 Approved by: JRD	Scale: 1:100 @ A2 Pg. No: A.05	Proposal: New Commerical Warehouse Client: The G.O.A.T Address: 2 Lockheed Place, Cambridge	Date: 15/05/2024 Drawn by: SH Job No: 003-2024 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Issue Date</th> <th style="width: 50%;">Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	Issue Date	Description				These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2022. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Lively Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any works or requesting production of these drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE.	
	Issue Date	Description											
Document Set ID: 5281945 Version: 1, Version Date: 17/06/2024													



West Elevation

1:100



East Elevation

1:100

NOT FOR CONSTRUCTION

NOTE

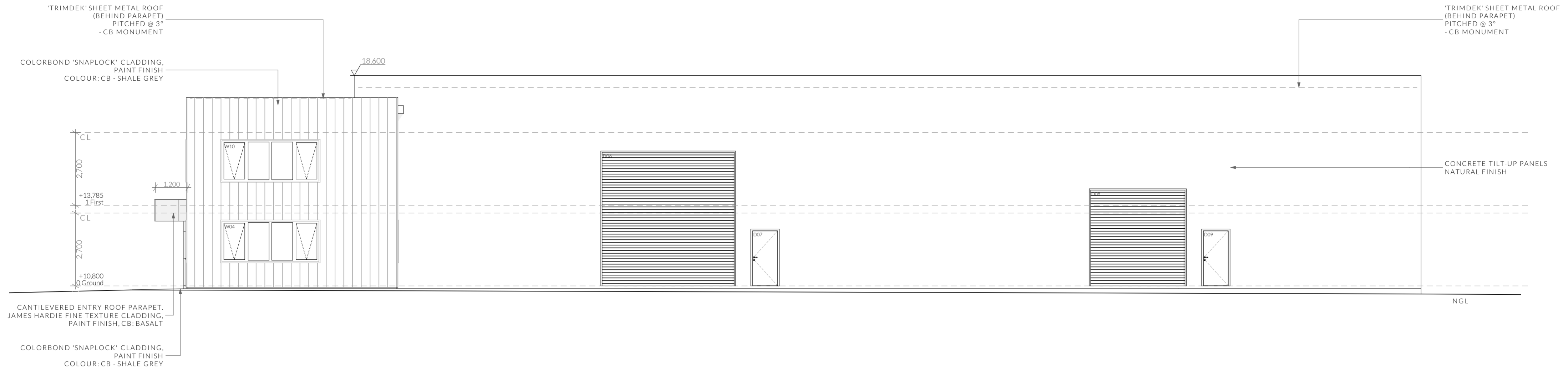
Stairs must comply with clauses 8.1 (inclusive of notes) and 8.2 of AS 1428.1:2021.

A continuous barrier must be provided along the side of the following if the trafficable surface is 1 m or more above the surface beneath.

- (a) a roof to which general access is provided; and
 - (b) a stairway or ramp; and
 - (c) a floor, corridor, hallway, balcony, deck, verandah, mezzanine, access bridge or the like; and
 - (d) any delineated path of access to a building.
- if the trafficable surface is 1 m or more above the surface beneath.

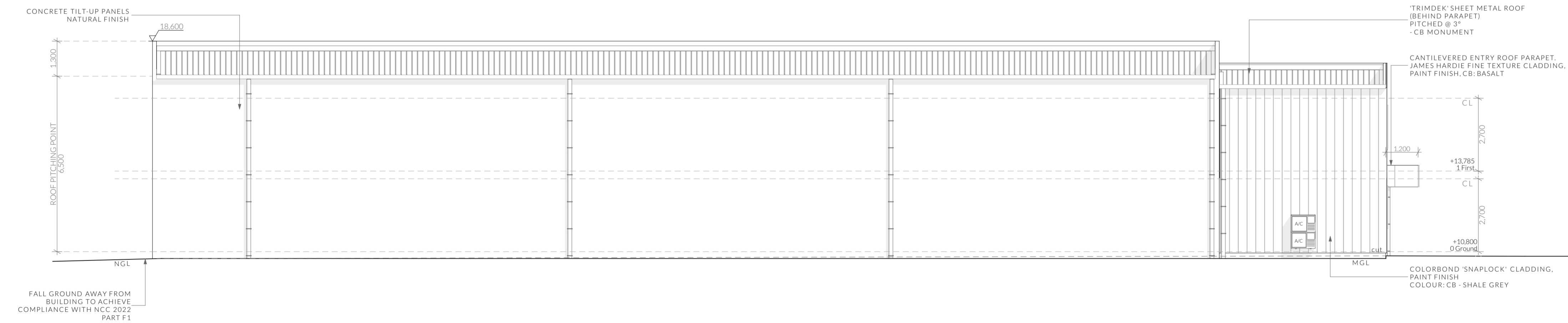
As per NCC Volume 1 D3D29; Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N and must not have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing. Class 7 (Other than carparks) and 8 buildings and parts of those classes must not permit a 300mm sphere to pass through it.

	PINNACLE DRAFTING & DESIGN 7/3 Abernatt Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Elevations Revision: DA-01 Approved by: JRD	Scale: 1:100 @ A2 Pg. No: A.06	Proposal: New Commerical Warehouse Client: The G.O.A.T Address: 2 Lockheed Place, Cambridge	Date: 15/05/2024 Drawn by: SH Job No: 003-2024 Engineer: TBA Building Surveyor: TBA	Issue Date: _____ Description: _____	These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2022. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Liable Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requiring producing these drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE.	
	Document Set ID: 5281945 Version: 1, Version Date: 17/06/2024							



South Elevation

1:100



North Elevation

1:100

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NOTE
Stairs must comply with clauses 8.1(inclusive of notes) and 8.2 of AS 1428.1:2021.

A continuous barrier must be provided along the side of the following if the trafficable surface is 1 m or more above the surface beneath.

- (a) a roof to which general access is provided; and
- (b) a stairway or ramp; and
- (c) a floor, corridor, hallway, balcony, deck, verandah, mezzanine, access bridge or the like; and
- (d) any delineated path of access to a building.

if the trafficable surface is 1 m or more above the surface beneath.

As per NCC Volume 1 D3D29; Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N and must not have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing. Class 7 (Other than carparks) and 8 buildings and parts of those classes must not permit a 300mm sphere to pass through it.

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Elevations

Revision: DA-01
Approved by: JRD

Scale: 1:100 @ A2
Pg. No: A.07

Proposal: New Commerical Warehouse
Client: The G.O.A.T
Address: 2 Lockheed Place, Cambridge





Date: 15/05/2024
Drawn by: SH
Job No: 003-2024
Engineer: TBA
Building Surveyor: TBA

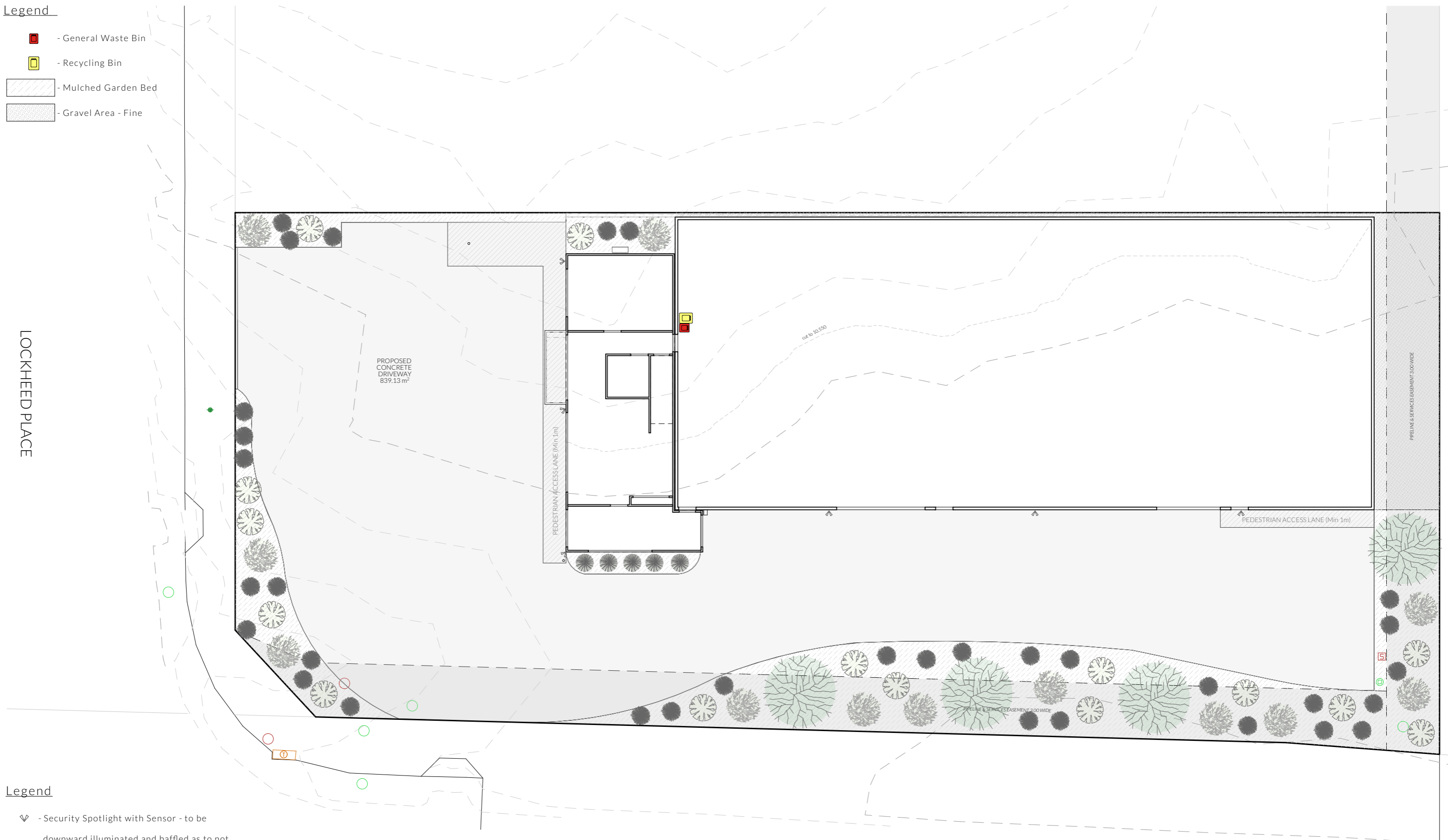
Issue Date	Description

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bdgg
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Legend

-  - General Waste Bin
-  - Recycling Bin
-  - Mulched Garden Bed
-  - Gravel Area - Fine




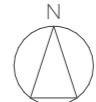

Legend

-  - Security Spotlight with Sensor - to be downward illuminated and baffled as to not illuminate past site boundaries.

Note

Refer to Planting Schedule & Details page for plant information.

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	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Landscaping Plan Revision: DA-01 Approved by: JRD	Scale: 1:200 @A3 Pg. No: A.08	Proposal: New Commerical Warehouse Client: The G.O.A.T Address: 2 Lockheed Place, Cambridge	Date: 15/05/2024 Drawn by: SH Job No: 003-2024 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Issue Date</th> <th style="width: 50%;">Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	Issue Date	Description				These drawing are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS; All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE.	
	Issue Date	Description											
Document Set ID: 5281945 Version: 1, Version Date: 17/06/2024													

Planting Schedule

Symbol	Element ID	Qty	Pot Size
	Banksia marginata 'Silver Banksia' or similar - 8m (H) 3-4m (S)	4	300mm
	Correa alba sp. or similar - 1.5m (H) & (S)	15	Tubestock
	Leptospermum lanigerum or similar - 3m (H) 2m (S)	12	140mm
	Lomandra sp. or similar - 1.2-1.5m (H)& (S)	33	Tubestock

Note

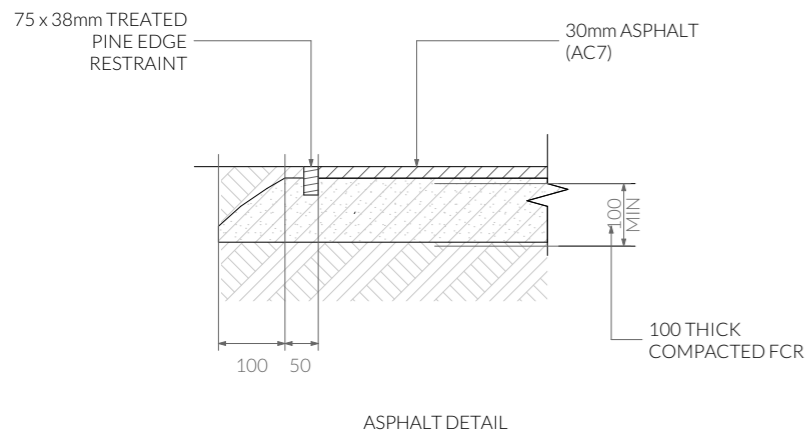
Plants have been selected to be drought tolerant and low maintenance once established, it is recommended that a dripper system or similar be put into place until established. Plant locations are indicative and may be altered where suitable growing conditions cannot be met. Garden areas to be mulched with 75mm cover of selected mulch and plants are to be fertilised 6 monthly or where required until established. Garden edges are to be timber, steel, or brick. Plantings that are unsuccessful will be replaced where required.

Notes

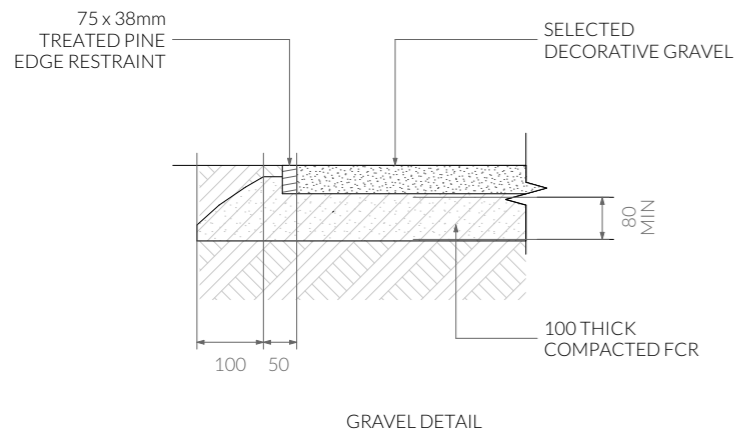
1. Liase with superintendent where clay or ground water is encountered during excavation of planting hole.
2. Tree supports:
- Trees < 3m high use stakes
- Trees > 3m high use guy wires
3. Place plants upright and in centre of hole.

KEY

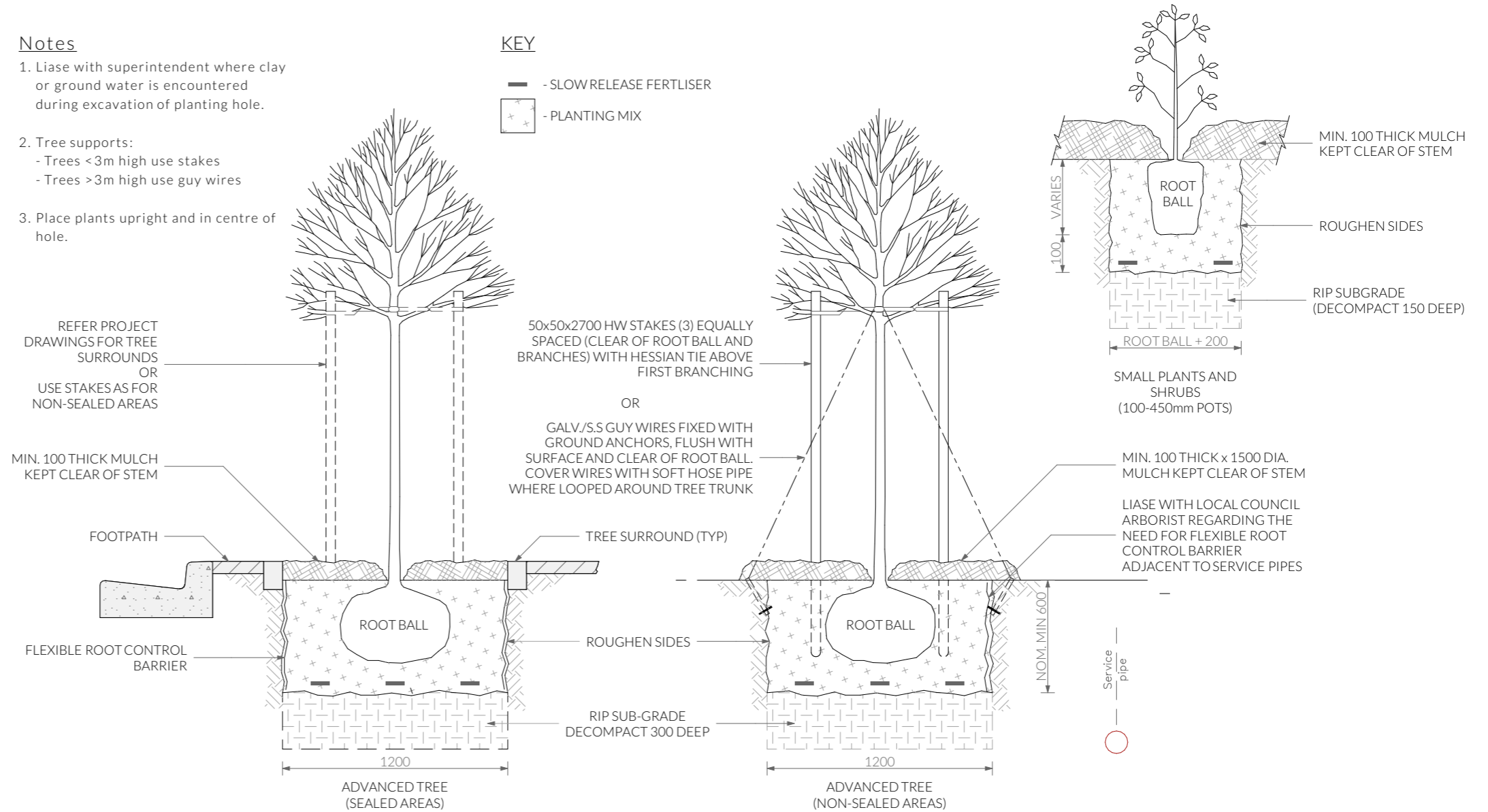
- SLOW RELEASE FERTILISER
- PLANTING MIX



Pavement Details 1:20



Pavement Details 1:20



Tree and Shrub Planting

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	Document Set ID: 5281945 Version: 1, Version Date: 17/06/2024						

Dear Sir/Madam,

Planning Application 2 Lockheed Place, Cambridge 7170

Development Overview

The proposed project is for the local company Rapid Clean. The proposed project will be for a new administration building/workshop and storage facility as a direct factory outlet. The lot will mainly be used for storage of materials and equipment for commercial cleaning use and the administration area for operational requirements.

The proposal allows for a concrete access and parking areas, with the remainder to be garden and gravel base.

The exterior of the building utilizes a concrete construction mixed with modern lightweight materials and lighter tones in keeping with the surrounding structures in the area.

The development proposes signage solely for business identification purposes with no illumination or third-party advertising.

Parking has been based on Storage Use requiring a minimum of 10 car parking spaces. The driveway has been designed to accommodate a reverse turning path in, of goods delivery vehicles entering and exiting from Lockheed Place whilst maintaining landscaping for a corner lot.

The following is our supporting written justification against the current planning scheme. Please see our response at the bottom of each code.

CLA P3.0 Particular Purpose

CLA-P3.4 Use Table
Proposed use class: Storage
<input type="checkbox"/> No Permit Required
<input checked="" type="checkbox"/> Permitted
<input type="checkbox"/> Discretionary

CLA-P3.5 Use Standards
A1
<i>External lighting must: (a) be aligned or baffled to ensure it does not cause direct emission of light onto a carriageway, or impact on the operation of an airport;</i>

PINNACLE

Response:

- Compliant
- Non-compliant
- N/A

All external lighting will be for security purposes, being downward illuminated as not to cause nuisance to surrounding properties and carriageways or have impact to the operation of airports in the area.

A2

not operate within the hours of 11.00pm to 6.00am, excluding any security lighting; and

Response:

- Compliant
- Non-compliant
- N/A

Hours of operation will be 8.30am to 4.40pm Monday to Thursday and 8.00am to 4.00pm Fridays. Security lighting will operate outside of these hours on motion sensor activated system.

A3

if for security lighting, be baffled so that direct light does not extend beyond the boundaries of the site.

Response:

- Compliant
- Non-compliant
- N/A

Security lighting will be baffled as well as downward illuminated as not to extend beyond the boundaries of the site.

CLA-P3.5.2 Discretionary use

A1

No Acceptable Solution

Response:

- Compliant
- Non-compliant
- N/A

PINNACLE

Development is not a discretionary use.

CLA-P3.6.1 Height

A1

Building height must be not more than 15m.

Response:

- Compliant
- Non-compliant
- N/A

Maximum building height is 7.8m

CLA-P3.6.2 Setbacks

P1

Buildings may have a setback from a frontage not less than 10m from the Tasman Highway or not less than 6m to any other road, having regard to:

- (a) the compatibility of the setback with adjoining buildings, generally maintaining a continuous building line if evident in the streetscape;*
- (b) the characteristics of the site, adjoining properties and the streetscape;*
- (c) the parking layout;*
- (d) the need to enhance the streetscape, provide adequate space for vehicle access, parking and landscaping and help to attenuate site impacts, taking into account:
 - (i) the site's area and dimensions and the proportion of the intrusion;*
 - (ii) compatibility with buildings on adjacent properties in the streetscape;*
 - (iii) whether the site is on a corner and whether the discretion relates to only one frontage;*Tasmanian Planning Scheme - Clarence LPS*
- (iv) whether the intrusion is for a minor component of the building that enhances the appearance of the site; and*
- (v) the adequacy of land retained for landscaping to enhance the appearance of the site and for appropriate vehicular access; and*
- (e) the local area objectives.*

Response:

- Compliant
- Non-compliant
- N/A

- (a) The adjacent warehouse at 4 Lockheed has a primary frontage setback of 18.61m whilst the proposed development at 2 Lockheed has a setback from the same

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primary frontage of 18.17m which is consistent along Lockheed Place. There is currently no pattern of development along Bungana Way visible.

- (b) The characteristics of the site have dictated the proposed structure be located 250mm from the northern boundary in an attempt to meet the frontage setbacks of the acceptable solution and accommodate other requirements such as landscaping and reverse -entry and forward exit medium rigid turning for operational requirements. There is currently no pattern of development along Bungana Way visible and the shortest setback on the secondary frontage is over 6m at 9,707.
- (c) The siting of the structure is to accommodate alternative landscaping and reverse -entry and forward exit medium rigid vehicular turning to the loading area along Bungana Way.
- (d) (i) The proportion of the intrusion from the acceptable solution is 293mm on the shortest boundary setback and acceptable of the 6m setback stated as discretionary.

(ii) There is currently no pattern of development along Bungana Way visible.

(iii) The site is a corner site and the discretion of 293mm is only along one side of the secondary frontage along Bungana Way.

(iv) The intrusion is to accommodate other requirements such as landscaping and reverse -entry and forward exit medium rigid turning for operational requirements.

(v) The landscaping has been laid out to accommodate reverse -entry and forward exit medium rigid vehicular turning to the loading area along Bungana Way, whilst attempting to enhance the appearance of the site and accommodate as much landscaping as practically possible.
- (e) The site has been designed with the local area objectives in mind helping to provide a range of uses, that the landscaping is in keeping with surrounding development as much as practically possible, by aiding in the attractive built character of the zone and the treatments and landscaping influenced by the surrounding valley landscape setting of forested and rural hills. The undulation of the driveway design not only accommodates turning requirements but is complimentary to this.

P2

Buildings must be sited a sufficient distance from side and rear boundaries to enhance the streetscape, provide adequate space for vehicle access, parking, maintenance access and landscaping and help to attenuate site impacts, having regard to:

- (a) *the site's area and dimensions and the proportionate intrusion;*
- (b) *compatibility with buildings on adjacent properties in the streetscape;*
- (c) *compatibility with setback on the adjoining property and whether the reduction would leave inadequate space between the buildings for a landscaped buffer to enhance the appearance of the area;*

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- (d) *the setback on the opposite side of the site and whether the reduction will be offset by landscaping on that side; and*
- (e) *whether the proposed height of the building and length of the proposed setback from side and rear boundaries will cause an unreasonable loss of amenity to the adjoining property including unreasonable overshadowing of any area required for a landscaping treatment.*

Response:

- Compliant**
 Non-compliant
 N/A

- (a) The side setback intrusions are to accommodate requirements such as landscaping and reverse -entry and forward exit medium rigid turning for operational requirements. The site's area and usage are proportionate to the intrusion. There is no rear setback for the lot by definition.
- (b) The adjacent warehouse at 4 Lockheed has side setbacks of 1420 on the North Boundary and 3712 on the Eastern Boundary. The proposal for 2 Lockheed Place has a setback of 250mm to accommodate requirements such as landscaping and reverse -entry and forward exit medium rigid turning for operational requirements as this lot is restricted by two frontage setbacks being a corner lot. The Eastern setback (although dictated by an easement) remains compatible with 4 Lockheed Place at 3700. There is currently no pattern of development along Bungana Way visible.
- (c) The landscaping of the proposal undulates leaving large pockets of more easily maintained landscaping than one large strip. The proximity of the structure and intrusion on the northern side boundary allows for adequate reverse -entry and forward exit medium rigid turning and to maximise landscaping at the primary and secondary frontages.
- (d) The Setbacks on the opposing sides of the side setbacks (the frontage setbacks) are designed to accommodate as much landscaping as possible whilst working to provide adequate reverse -entry and forward exit medium rigid turning for operational requirements.
- (e) The encroachment on the Northern Boundary setback will not unreasonably affect the site of 4 Lockheed Place in loss of amenity nor will it overshadow the site in any way, as 4 Lockheed Place is sited directly North of the proposal of 2 Lockheed Way. Therefore, overshadowing will not be a concern.

CLA-P3.6.3 Design

P1

The design of buildings must enhance the appearance of the site and the streetscape having regard to

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(a) making a positive contribution to the character of the area, by promoting an attractive image, especially for building elements that face the Tasman Highway;

(b) the need for buildings to:

(i) use external cladding with suitable tone, texture, materials, relief and fenestration;

(ii) not present blank facades to the street or to customer car parking areas;

(iii) ensure walls fronting the Tasman Highway and any internal car park contain sufficient glazing, to ensure the premises interacts positively with the pedestrian environment and enhances the gateway entrance to Hobart;

(c) whether ancillary shops, offices, cafes, or other facilities are integrated with the design of buildings containing the principal use;

(d) the minimisation of visual intrusiveness of roof-top service infrastructure, including service plants and lift structures by integrating them into the building design;

(e) wind protection for the convenience, comfort and safety of pedestrians;

(f) the local area objectives; and

(g) an urban design context report.

Compliant

Non-compliant

N/A

(a) The proposed design contributes to the character of the area in a positive way by promoting an attractive corner façade. Building elements are concealed from the Tasman highway by No. 89 Cambridge Park Drive.

(b) (i) The proposal utilises light muted tones in keeping with that of 4 Lockheed Way as well as similar cladding and façade door and window relief and fenestration as practically as possible for a corner lot.

(c) The lot does not front the Tasman Highway.

(d) The proposed project will be for a new administration building/workshop and storage facility as a direct factory outlet. The lot will mainly be used for storage of materials and equipment for commercial cleaning use and the administration area for operational requirements. No roof top servicing is proposed. AC external services are located on the plans and are indicated to the north side of the administration part of the complex.

(e) The proposal provides wind protection for the convenience, comfort and safety of pedestrians with shielding coming predominantly from surrounding structures namely 89 Cambridge Park Drive as it's sheer bulk and scale will provide cover for 2 Lockheed Place from the SW prevailing winds.

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(f) The site has been designed with the local area objectives in mind helping to provide a range of uses, that the landscaping is in keeping with surrounding development as much as practically possible, by aiding in the attractive built character of the zone and the treatments and landscaping influenced by the surrounding valley landscape setting of forested and rural hills. The undulation of the driveway design not only accommodates turning requirements but is complimentary to this.

(g) Not Applicable

CLA-P3.6.4 Passive surveillance

P1

Building design must provide for passive surveillance of public spaces, having regard to:

(a) providing the main entrance or entrances to a building that are clearly visible from nearby buildings and public spaces;

(b) locating windows to adequately overlook the street and adjoining public spaces;

(c) incorporating shop front windows and doors for ground floor shops and offices, so that pedestrians can see into the building and vice versa;

(d) locating external lighting to illuminate any entrapment spaces around the building site;

(e) providing external lighting to illuminate car parking areas and pathways;

(f) the need for public access to provide high visibility for users and provide clear sight lines between the entrance and adjacent properties and public spaces; and

(g) the need to provide for sight lines to other buildings and public spaces

Response:

- Compliant
 Non-compliant
 N/A

(a) The main entrance is located on the primary frontage clearly visible from both Lockheed Place and Bungana Way and accessible from the existing crossover from Lockheed Place.

(b) Windows have been located on both street frontages of the administration building to overlook both Lockheed Place and Bungana Way.

(c) Sizeable windows have been proposed for both frontages to the ground floor administration building overlooking both Lockheed Place and Bungana Way so that pedestrians can see into the building and vice versa.

(d) No entrapment spaces are present on the proposal.

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- (e) Security lighting will be provided illumination to external car parking spaces and transfer spaces for vehicles on a sensor system.
- (f) There are no adjacent public spaces or accesses to adjacent sites relevant to the proposal.
- (g) Sight lines are adequate to other buildings in the area with the discretionary frontage setbacks being compliant. There are no adjacent public spaces relevant to the proposal.

CLA-P3.6.5 Landscaping

P1

Landscaping must enhance the appearance of the site and the streetscape, having regard to:

- (a) the appearance and amenity of the development, including any public car parking area;*
- (b) the need to recognise the importance of the appearance of Tasman Highway as the gateway entrance to Hobart, by providing landscaped buffers to enhance buildings and sites abutting the Highway;*
- (c) the ability to provide a range of plant height and forms to create diversity, interest and amenity;*
- (d) using landscaping to soften the visual impact of buildings by breaking up building mass and enhancing architectural elements;*
- (e) the area within 10m of a boundary abutting the Tasman Highway, or 6m to any other road, excluding site entry or exit access, must be landscaped; and (f) the local area objectives.*

Response:

- Compliant
- Non-compliant
- N/A

- (a) The proposal includes landscaping that enhances the appearance of the site, public car parking areas and amenity of the development with an undulating design creating interest and easily maintained pockets of landscaped areas.
- (b) The site does not abut the Tasman Highway.
- (c) The proposal includes 4 different varieties of plant species all providing a range of height and forms to create diversity, interest and amenity.
- (d) The undulating landscaping design helps to soften the visual impact of the building by breaking up the impervious areas and the range of height and species adds to the interest of the landscape design.
- (e) The 6m landscaped area has not been able to be adhered to due to the corner lot and operation requirements of the development. Due to the need to provide reverse -

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entry and forward exit medium rigid vehicular turning to the loading area along Bungana Way the deepest landscaped area is 5,256mm from the secondary frontage. Due to the nature of the corner lot, and requirement for vehicular access, the maximum landscaping has been provided wherever possible. The design accommodates larger pockets of landscaping, making for easier maintaining of vegetation and adding interest to the proposal.

- (f) The site has been designed with the local area objectives in mind, promoting the use of bulky goods sales, helping to provide a range of uses, that the landscaping is in keeping with surrounding development as much as practically possible, by aiding in the attractive built character of the zone and the treatments and landscaping influenced by the surrounding valley landscape setting of forested and rural hills. The undulation of the driveway design not only accommodates turning requirements but is complimentary to this.

CLA-P3.6.6 Outdoor storage and display

A1

Outdoor storage areas, excluding for the display of goods for sale, must:

- (a) *be located behind the façade of the building; and*
- (b) *have all stored goods and materials screened from public view.*

Response:

- Compliant**
 Non-compliant
 N/A

- (a) All goods will be stored in the warehouse behind the façade of the building.
- (b) All goods will be stored in the warehouse behind the façade of the building and screened from public view.

CLA-P3.6.7 Fencing

A1

Fencing must comply with the following:

- (a) *fences, walls and gates 1.5m above existing ground level must not be erected within 10m of a frontage;*
- (b) *frontage fences must be at least 50% transparent above a height of 1.2m.*

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Response:

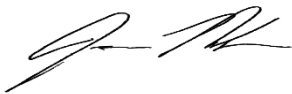
- Compliant
- Non-compliant
- N/A

(a) Not applicable. No fencing is proposed on the subject site.

(b) Not applicable. No fencing is proposed on the subject site.

I trust the information in this letter provides adequate justification against the current planning scheme and ask that the council accepts the submitted documentation as a valid application under LUPAA.

Kind Regards,



Jason Nickerson

Director

Pinnacle Design

17/06/24

Att: Kieran Richards
Clarence City Council

Dear Sir/Madam,

PDPLANPMTD-2024/044606 2 Lockheed Place, Cambridge

In response to your correspondence dated 14/06/24
I have addressed your requests as follows:

ITEM	COUNCIL REQUEST	DEVELOPMENT RESPONSE
C2.5.1	CAR PARKING NUMBERS, A1 To enable us to determine the required number of car parks provided for the use, please specify the anticipated number of employees associated with the proposed use.	Indications from the client are that they currently operate with 3 people in the warehouse area, and that including the office space that employees would not exceed 20 persons, which is in line with Table C2.1 Storage of "1 space per 200m ² of the site area or 1 space per 2 employees, whichever is greater" as there are 10 parking spaces provide on the site indicated on sheet A.01.
C2.6.6	LOADING BAYS, A2 Please specify intended vehicle usage. If designing for heavy vehicles, please provide documentation demonstrating ability to enter and exit the site in a forward direction. Please also demonstrate manoeuvrability of heavy vehicles from Bungana Way onto Lockheed Place and from Lockheed Place to the property, taking into consideration on-street parking.	Amended turning paths for a medium single axle non – articulated vehicle have been shown on sheet A.02 & A.03 as per operational requirements of the proposal.

I trust the provided information addresses the matters identified in the further information request and ask that the council now accept the submitted documentation as a valid application under LUPAA.

Kind Regards,



Steven Haas
Senior Designer