



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/043611

PROPOSAL: Dwelling

LOCATION: 15 Danes Avenue, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 08 July 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 08 July 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 08 July 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.



Clarence... a brighter place

Clarence City Council

APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Residential Dwelling

Location:

Address (Lot 47) 15 Danes Avenue

Suburb/Town Rokeby

Postcode 7019

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$402,405.00

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Vacant Land

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

Signature..... *Mark Page* Date..... 15/04/2024

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 181271	FOLIO 47
EDITION 3	DATE OF ISSUE 11-Dec-2021

SEARCH DATE : 15-Apr-2024

SEARCH TIME : 11.45 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 47 on Sealed Plan 181271

Derivation : Part of 50 Acres Loc. to William Nicholls Snr.

Prior CT 180218/501

SCHEDULE 1

M925985 TRANSFER to HEATHER KATHLEEN MURPHY Registered

11-Dec-2021 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP181271 FENCING PROVISION in Schedule of Easements

SP156979 FENCING COVENANT in Schedule of Easements

SP180218 FENCING PROVISION in Schedule of Easements

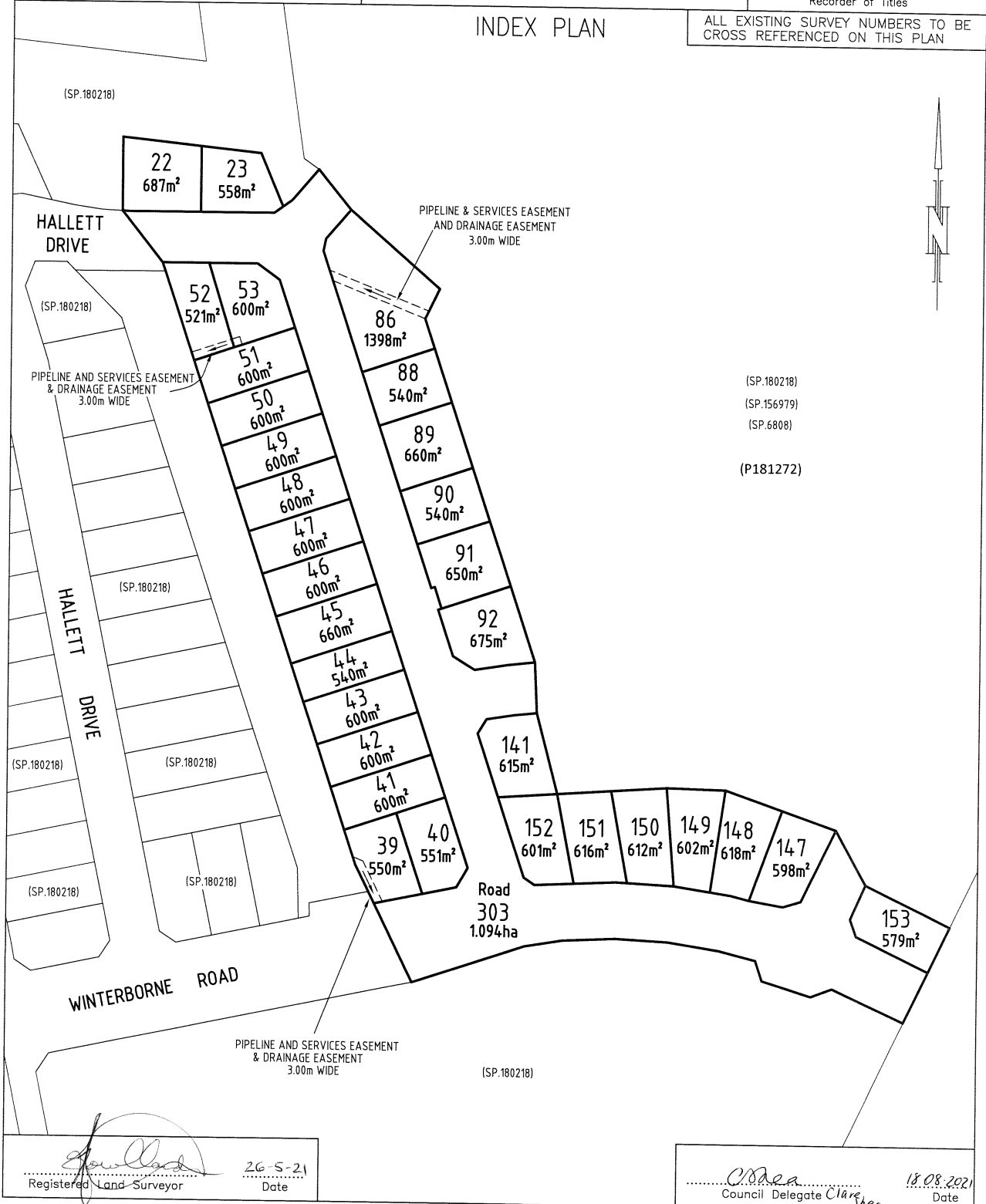
E288026 MORTGAGE to Commonwealth Bank of Australia

Registered 11-Dec-2021 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS


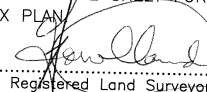

No unregistered dealings or other notations

<p>OWNER HBA DAESUNG PTY LTD</p> <p>FOLIO REFERENCE C.T.180218/501</p> <p>GRANTEE: PART OF 410-0-0 GRANTED TO ROBERT WHITE & JOHN ROBERTSON. PART OF 100 ACRES & 50 ACRES LOCATED TO WILLIAM NICHOLLS SNR</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR TIMOTHY LEIGH GOWLLAND ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966</p> <p>CITY OF CLARENCE</p> <p>SCALE 1: 1250 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER SP181271</p> <p>APPROVED EFFECTIVE FROM -7 SEP 2021</p> <p><i>Deanna</i> Recorder of Titles</p>
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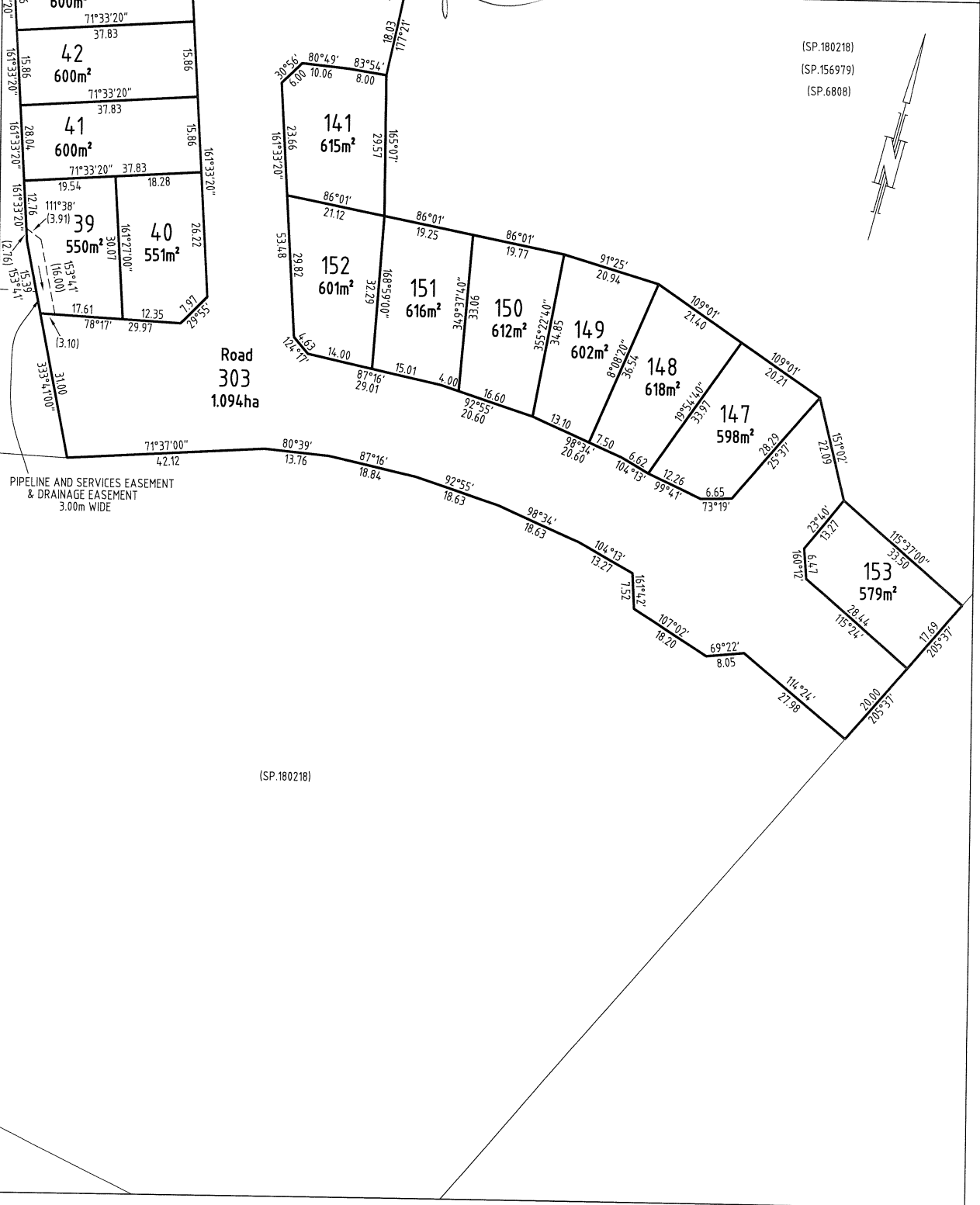
Timothy Leigh Gowlland
 Registered Land Surveyor 26-5-21 Date

Clare Shea
 Council Delegate Clare Shea 18.08.2021 Date

PLAN OF SURVEY ANNEXURE SHEET	OWNER: HBA DAESUNG PTY LTD	Registered Number
SHEET 1 OF 2 SHEETS	FOLIO REFERENCE: C.T.180218/501	SP 181271
SIGNED FOR IDENTIFICATION PURPOSES	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN	APPROVED EFFECTIVE FROM -7 SEP 2021
 Council Delegate	 Registered Land Surveyor	 Recorder of Titles
18.08.2021 Date	26-5-21 Date	



<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 2 OF 2 SHEETS</p> <p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>Mea</i> Council Delegate Date: 18.08.2021</p>	<p>OWNER: HBA DAESUNG PTY LTD</p> <p>FOLIO REFERENCE: C.T.180218/501</p> <p>SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 181271</p>
	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> Registered Land Surveyor Date: 17-5-21</p>	<p>APPROVED EFFECTIVE FROM -7 SEP 2021</p> <p><i>[Signature]</i> Recorder of Titles</p>



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 181271

EASEMENTS AND PROFITS

PAGE 1 OF 5 PAGES

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 39, 52, 53 and 86 (“the Lot”) are each subject to a PIPELINE AND SERVICES EASEMENT (as defined) in gross in favour of Tasmanian Water & Sewerage Corporation Pty Ltd, its successors and assigns (“TasWater”) over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** on the Plan (“the Easement Land”).

Lots 39, 52, 53 and 86 on the Plan are each subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** on the Plan.

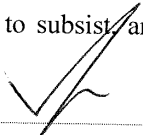
FENCING PROVISION

In respect of the Lots shown on the Plan, the Vendor (HBA Daesung Pty Ltd) shall not be required to fence.

DEFINITIONS

“**Drainage Easement**” means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist and through all sewers and drains which may hereafter be made or passing

Director



Director



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: HBA DAESUNG PTY LTD	PLAN SEALED BY: Clarence City Council
FOLIO REF: 180218/501	DATE: 18-08-2021
SOLICITOR	SD-2018/3
& REFERENCE: Page Seager (DAS 182259 – Stage 3)	REF NO. <i>Clare Shep</i> Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

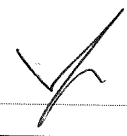
<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 181271</p>
<p>SUBDIVIDER: HBA DAESUNG PTY LTD</p> <p>FOLIO REFERENCE: 180218/501</p>	

under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

The **Pipeline and Services Easement** is defined as follows:

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.


 Director


 Director/Secretary

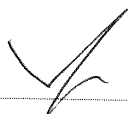
NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 181271</p>
<p>SUBDIVIDER: HBA DAESUNG PTY LTD</p> <p>FOLIO REFERENCE: 180218/501</p>	

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register (“the Owner”) must not without the written consent of TasWater first had and obtained (which cannot be unreasonably refused) and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or

Director



Director/Secretary



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CP

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 181271</p>
<p>SUBDIVIDER: HBA DAESUNG PTY LTD</p> <p>FOLIO REFERENCE: 180218/501</p>	


- (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
- (c) replace anything that supported, protected or covered the Infrastructure.

Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) anything reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Director



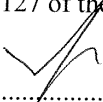
Director/Secretary



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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 5 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 181271</p>
<p>SUBDIVIDER: HBA DAESUNG PTY LTD</p> <p>FOLIO REFERENCE: 180218/501</p>	

EXECUTED by **HBA DAESUNG PTY LTD (ACN 133 810 714)**, as registered proprietor of the land comprised in Folio of the Register Volume 180218 Folio 501 pursuant to section 127 of the *Corporations Act 2001* by:



.....
Director Signature

Dong Keun Yoon
.....
Director Full Name (print)



.....
Director/Secretary Signature

JUN Ho Lee
.....
Director/Secretary Full Name (print)

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DA

TASMANIAN PLANNING SCHEME

SHEET INDEX

1	COVER SHEET
2	SITE PLAN
3	SOIL & WATER MANAGEMENT PLAN
4	GROUND FLOOR PLAN
5	ELEVATIONS / SECTION
6	ELEVATIONS
7	WINDOW & DOOR SCHEDULES
8	ROOF DRAINAGE PLAN
9	FLOOR COVERINGS
10	KITCHEN DETAILS
11	BATHROOM DETAILS
12	ENSUITE DETAILS
13	LAUNDRY DETAILS

TOTAL FLOOR AREAS

MAIN DWELLING, GROUND FLOOR	
LIVING	144.13
PORCH	2.31
TOTAL	146.44 m²

HIGHLY REACTIVE / PROBLEMATIC SOIL TYPE. REFER TO HYDRAULICS PLANS AND DETAILS PREPARED BY GANDY AND ROBERTS

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

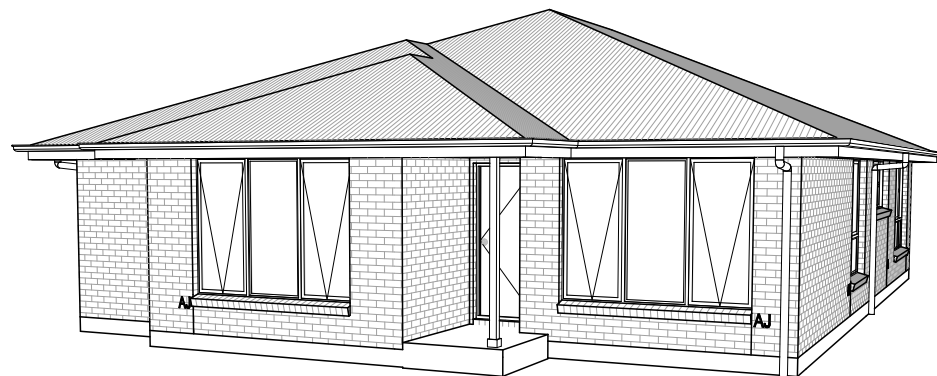
SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	NO
BUILDING ENVELOPE	NO
BUSHFIRE	YES - BAL TBC
CLIMATE ZONE (NCC)	TBC
DESIGN WIND CLASSIFICATION	N2 (NOT EXPOSED)
ESTATE/DEVELOPER GUIDELINES	NO
FLOOD OVERLAY	YES
HERITAGE	NO
LANDSLIP HAZARD	NO
MINIMUM FLOOR LEVEL	NO
NATURAL ASSET CODE	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SHIELDING FACTOR	PS - PARTIAL SHIELDING
SITE CLASSIFICATION	H1
SPECIFIC AREA PLAN OVERLAY	YES
PARANVILLE	
TERRAIN CATEGORY	TC2.5
TOPOGRAPHIC CLASSIFICATION	T1
WATERWAY & COASTAL OVERLAY	YES
WIND REGION	A - NORMAL
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	2.30km
ZONING	GENERAL RESIDENTIAL
AIRPORT OBSTACLE LIMITATION AREA	

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
FRONT	MIN. 4,500mm	18,498mm
SIDE A	MIN. 1,500mm	1,500mm
SIDE B	MIN. 1,500mm	4,161mm
REAR	MIN. 1,500mm	4,410mm
BULK & SCALE		
SITE AREA	600.05m ²	
SITE COVERAGE	MAX. 50%	24.4%
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
CUT DEPTH	MAX. 2,000mm	495mm
FILL DEPTH	MAX. 1,000mm	356mm
ACCESS & AMENITY		
PARKING SPACES	MIN. 2 SPACES	2 SPACES

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one of more of the following documents:- Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey. Dial Before You Dig information, Planning Approval.

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S)	2445mm
NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL	
ROOF PITCH (U.N.O.)	23.0°
ELECTRICITY SUPPLY	SINGLE PHASE
GAS SUPPLY	NONE
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	N/A
WALL MATERIAL	BRICK VENEER
SLAB CLASSIFICATION	TBC

INSULATION

ROOF	SARKING UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN
FLOOR	BIAX SLAB

THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE: _____

DATE: _____

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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PRELIMINARY PLAN SET

2	PRELIMINARY PLAN SET - PLANNING RFI UPDATE	2	2024.06.18	HMI	-
2	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2024.04.11	DKZ	-
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

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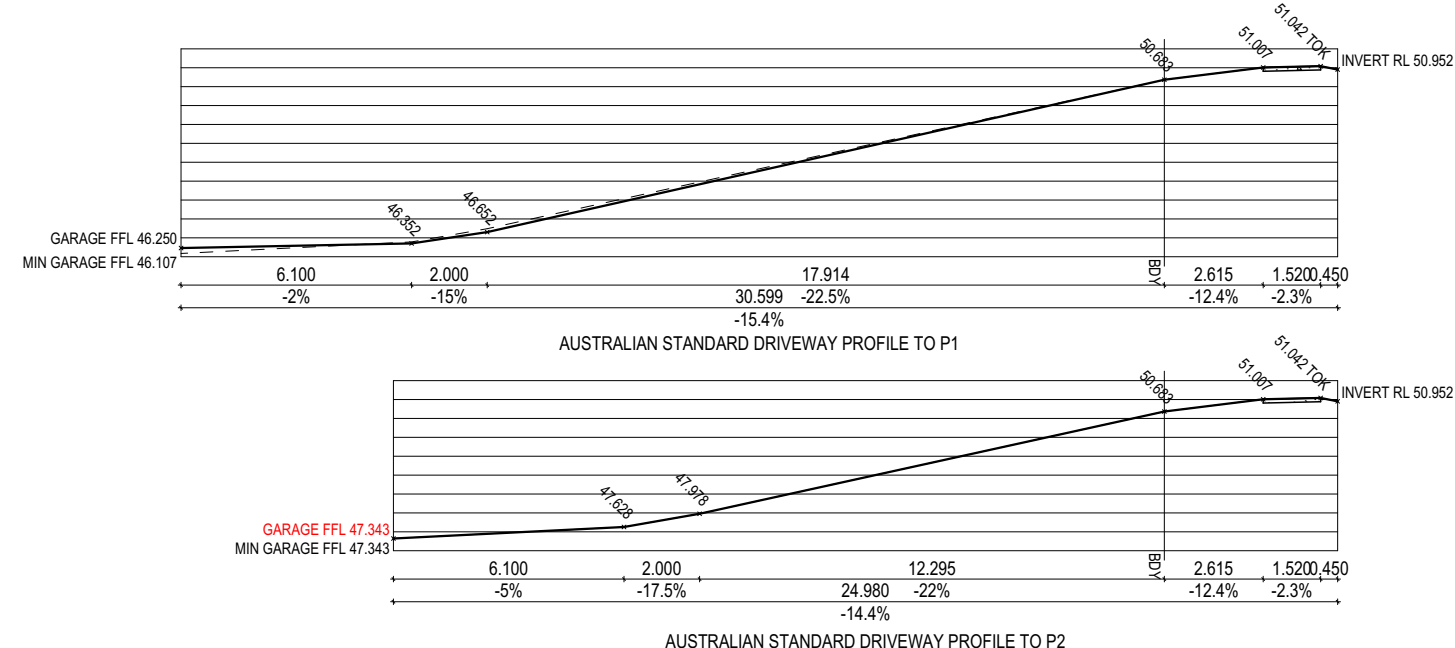
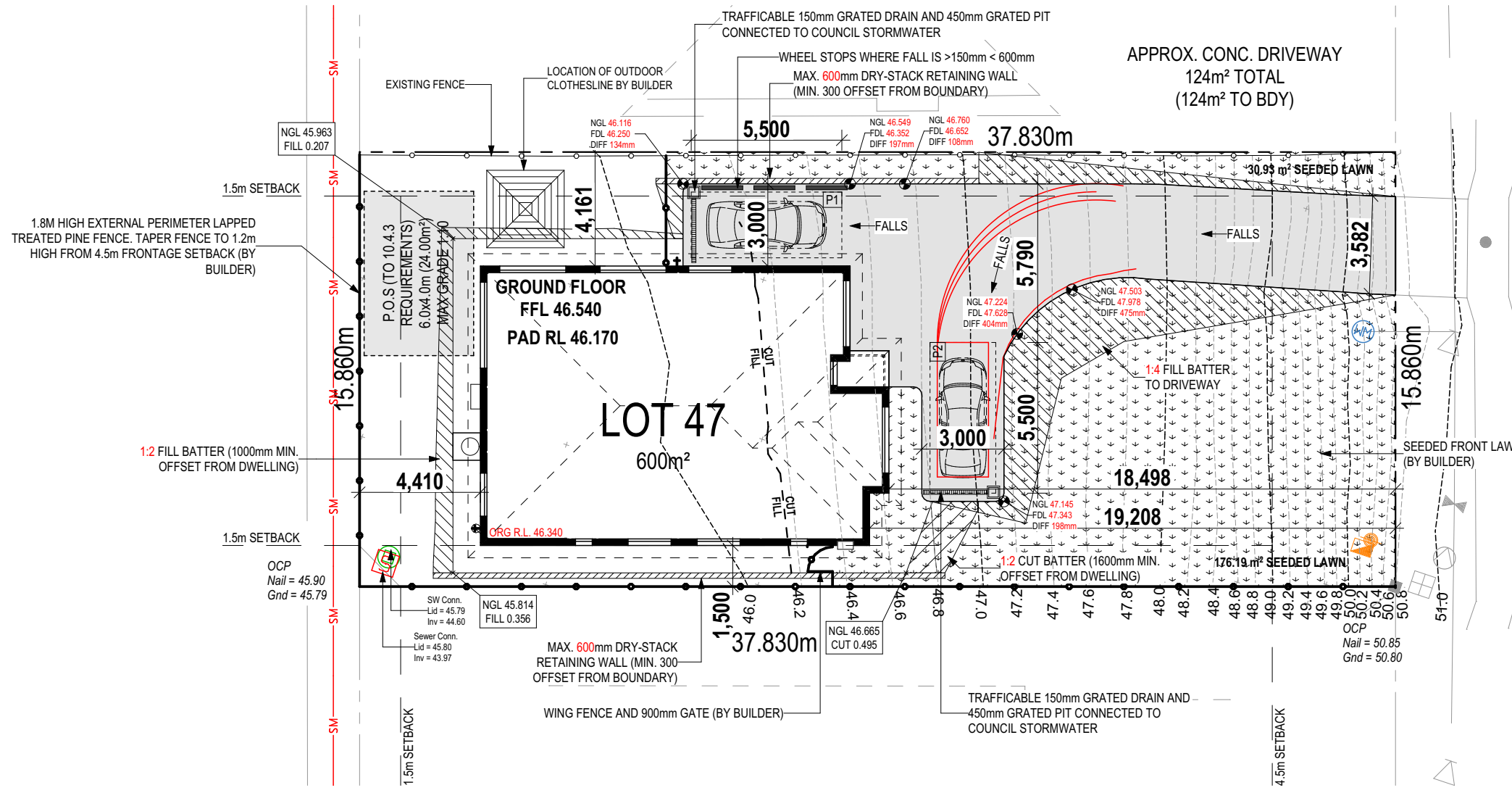
SPECIFICATION: DISCOVERY	REVISION: 1 DRAFT SALES PLAN - CT1	DRAWN: JOL 08/04/2024	CLIENT: HEATHER KATHLEEN MURPHY	HOUSE DESIGN: OLINDA 15	HOUSE CODE: H-WDCOLN10SA	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2024	2 PRELIM PLANS - INITIAL ISSUE	DKZ 11/04/2024	ADDRESS: 15 DANES AVE, ROKEBY TAS 7019	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDCOLN10CLASA	
	3 PRELIM PLANS - RFI UPDATE	HMI 18/06/2024	LOT / SECTION / CT: 47 / - / 18127	SHEET TITLE: COVER SHEET	SCALES: 1:100	
			COUNCIL: CLARENCE COUNCIL	SHEET No.: 1 / 13		714003

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

APPROX. CUT/FILL		
CUT	28.13m³	63.29t
FILL	28.07m³	63.16t
DIFFERENCE	0.06m³	0.14t

EVEN CUT & FILL

LOT SIZE: 600m²
HOUSE (COVERED AREA): 146.44m²
SITE COVERAGE: 24.40%



DRIVEWAY DETAILS
SCALE: 1:200

Site Datum
TBM R/S
in conc. path
@ RL 51.05

DANES AVENUE

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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SPECIFICATION: DISCOVERY COPYRIGHT: © 2024	REVISION 1 DRAFT SALES PLAN - CT1 2 PRELIM PLANS - INITIAL ISSUE 3 PRELIM PLANS - RFI UPDATE	DRAWN JOL 08/04/2024 DKZ 11/04/2024 HMI 18/06/2024	CLIENT: HEATHER KATHLEEN MURPHY ADDRESS: 15 DANES AVE, ROKEBY TAS 7019 LOT / SECTION / CT: 47 / - / 18127	HOUSE DESIGN: OLINDA 15 FACADE DESIGN: CLASSIC SHEET TITLE: SITE PLAN	HOUSE CODE: H-WDCOLN10SA FACADE CODE: F-WDCOLN10CLASA SCALES: 1:200	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714003
			COUNCIL: CLARENCE COUNCIL	SHEET No.: 2 / 13		
			COUNCIL: CLARENCE COUNCIL	SHEET No.: 2 / 13		

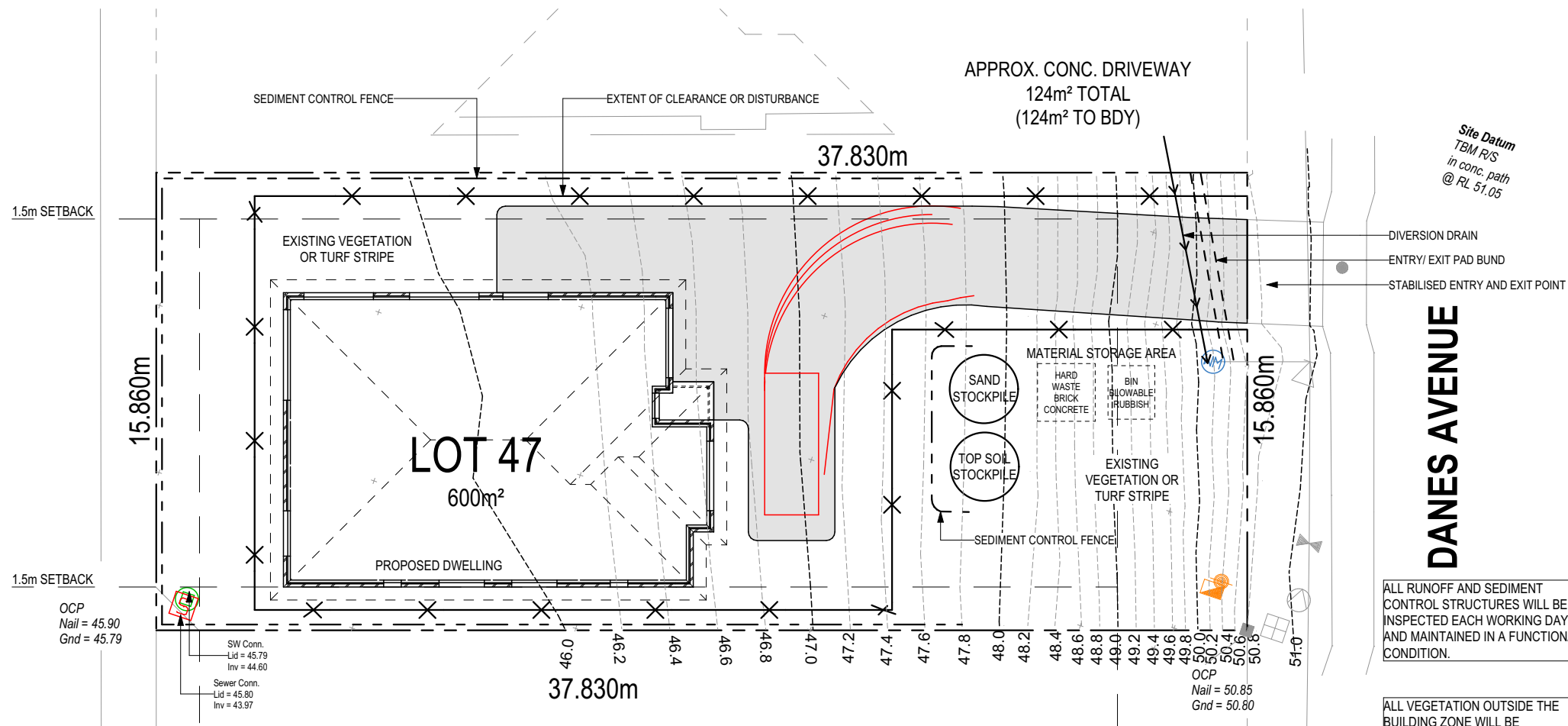
Last Published: Tuesday, 18 June 2024 4:30 PM
File Location: P:\8_Drafting\Job Files\714000714003 - Murphy\Plans\714003 Murphy - AC24 - Prelim - 2024.06.18.pln
Template Version: 24.06

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

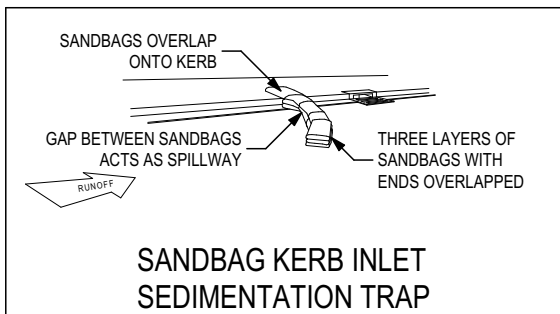
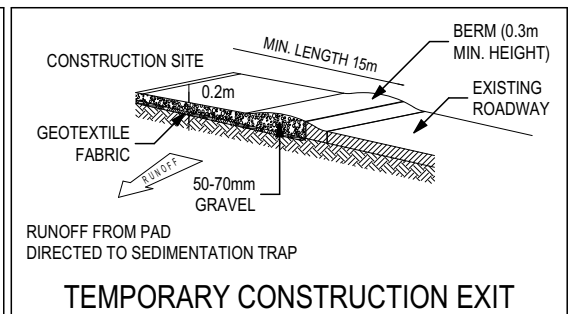
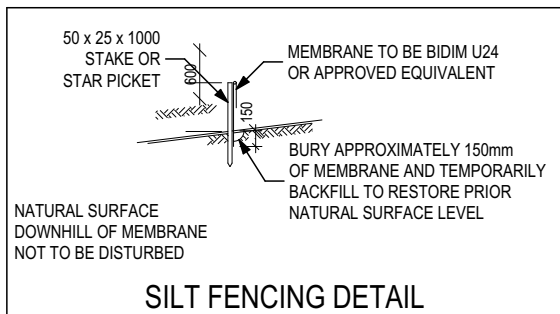
THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
 6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
 7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.



SUBJECT TO NCC 2022 (1 MAY 2023) WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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SPECIFICATION: DISCOVERY	REVISION		DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
	1	DRAFT SALES PLAN - CT1	JOL	08/04/2024	HEATHER KATHLEEN MURPHY	OLINDA 15		H-WDCOLN10SA
	2	PRELIM PLANS - INITIAL ISSUE	DKZ	11/04/2024	ADDRESS:	FACADE DESIGN:		FACADE CODE:
COPYRIGHT: © 2024	3	PRELIM PLANS - RFI UPDATE	HMI	18/06/2024	15 DANES AVE, ROKEBY TAS 7019	CLASSIC	F-WDCOLN10CLASA	
				LOT / SECTION / CT:	COUNCIL:	SHEET TITLE:	SHEET No.:	
				47 / - / 18127	CLARENCE COUNCIL	SOIL & WATER MANAGEMENT PLAN	3 / 13	
						SCALES:	1:200	
							714003	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:	
- SUSTAINABILITY REQUIREMENTS	144.13
- SITE CLASSIFICATION	2.31
- GENERAL BUILDING INFORMATION	146.44 m ²

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

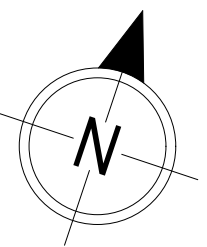
FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

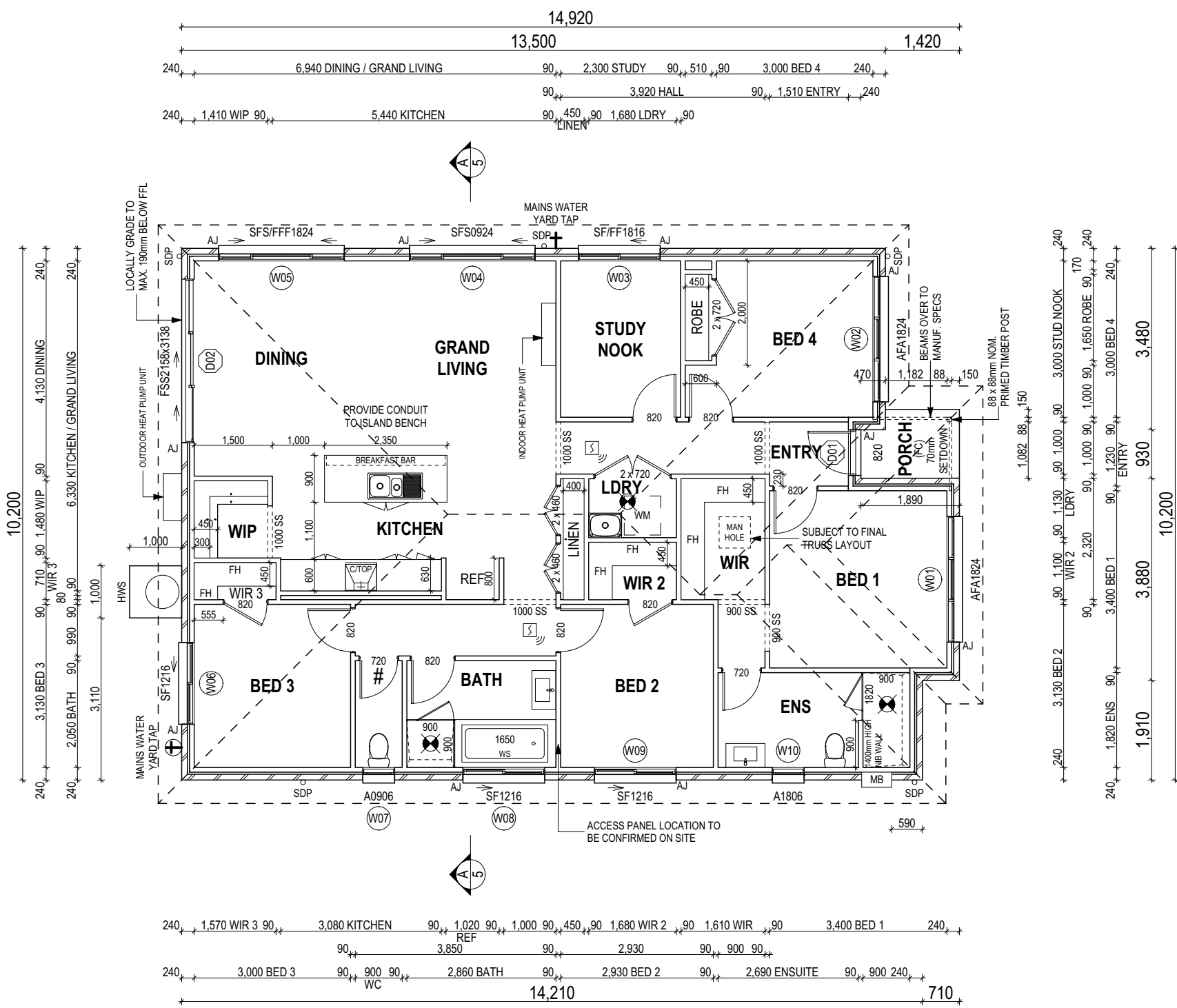
FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



LEGEND	
HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	RENDER
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNPIPE
CDP	CHARGED DOWNPIPE
	DENOTES DRAWER SIDE
	MECHANICAL VENTILATION
L.B.W	LOAD BEARING WALL
PB	PLASTERBOARD
FC	FIBRE CEMENT
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
+	WATER POINT
	FLOOR WASTE
	GAS BAYONET

MAIN DWELLING, GROUND FLOOR	
LIVING	144.13
PORCH	2.31
	146.44 m ²



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ALL DIMENSIONS ARE FRAME DIMENSIONS

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
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	COPYRIGHT: © 2024	2 PRELIM PLANS - INITIAL ISSUE	DKZ 11/04/2024	ADDRESS: 15 DANES AVE, ROKEBY TAS 7019	FACADE DESIGN: CLASSIC	
	3 PRELIM PLANS - RFI UPDATE	HMI 18/06/2024	LOT / SECTION / CT: 47 / - / 18127	COUNCIL: CLARENCE COUNCIL	SHEET TITLE: GROUND FLOOR PLAN	SHEET No.: 4 / 13
					SCALES: 1:100	714003

Last Published: Tuesday, 18 June 2024 4:30 PM
File Location: P:\8_Drafting\Job Files\714000714003 - Murphy\Plans\714003 Murphy - AC24 - Prelim - 2024.06.18.pln
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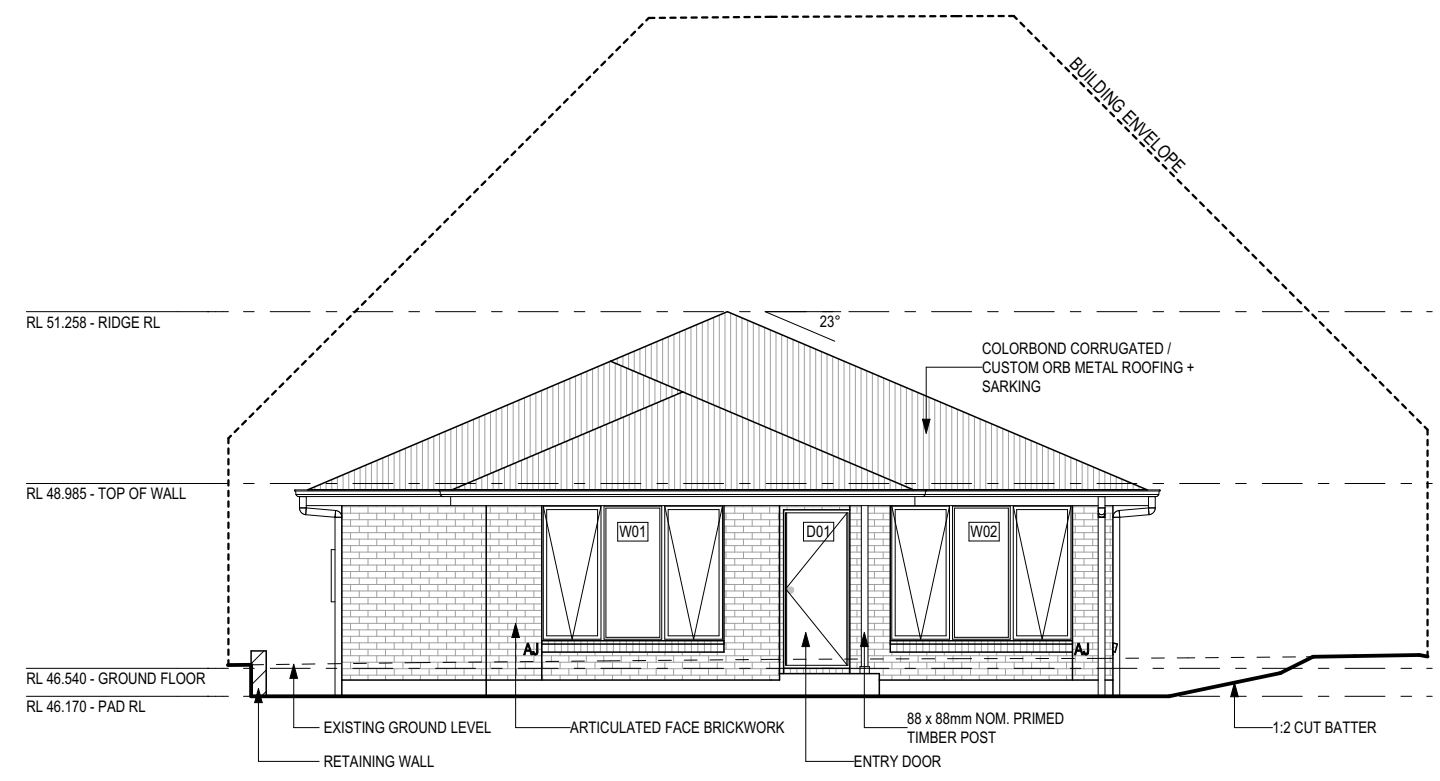
SOME DETAILS ON THIS SHEET ARE INDICATIVE ONLY FOR EXAMPLE BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

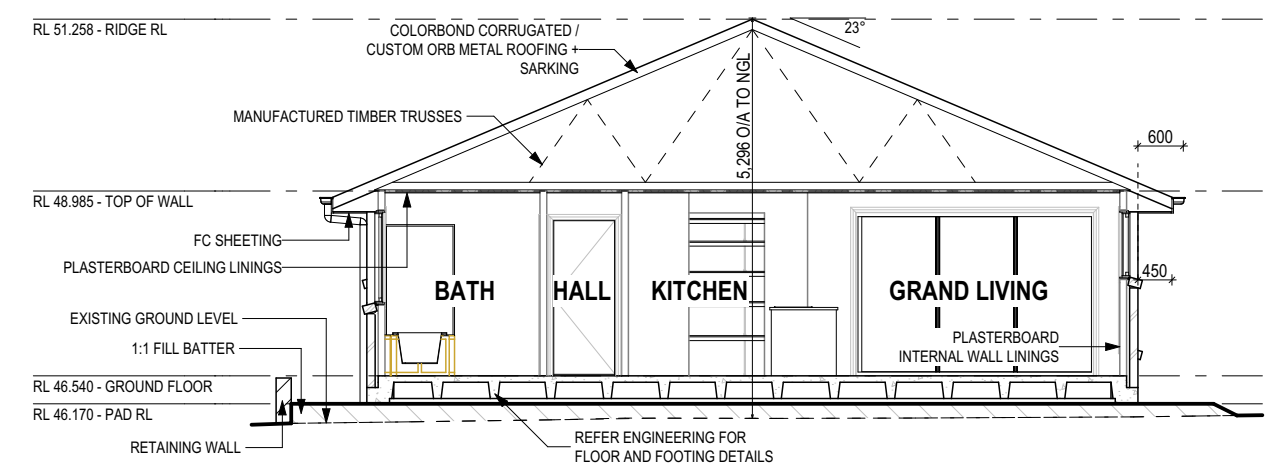
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

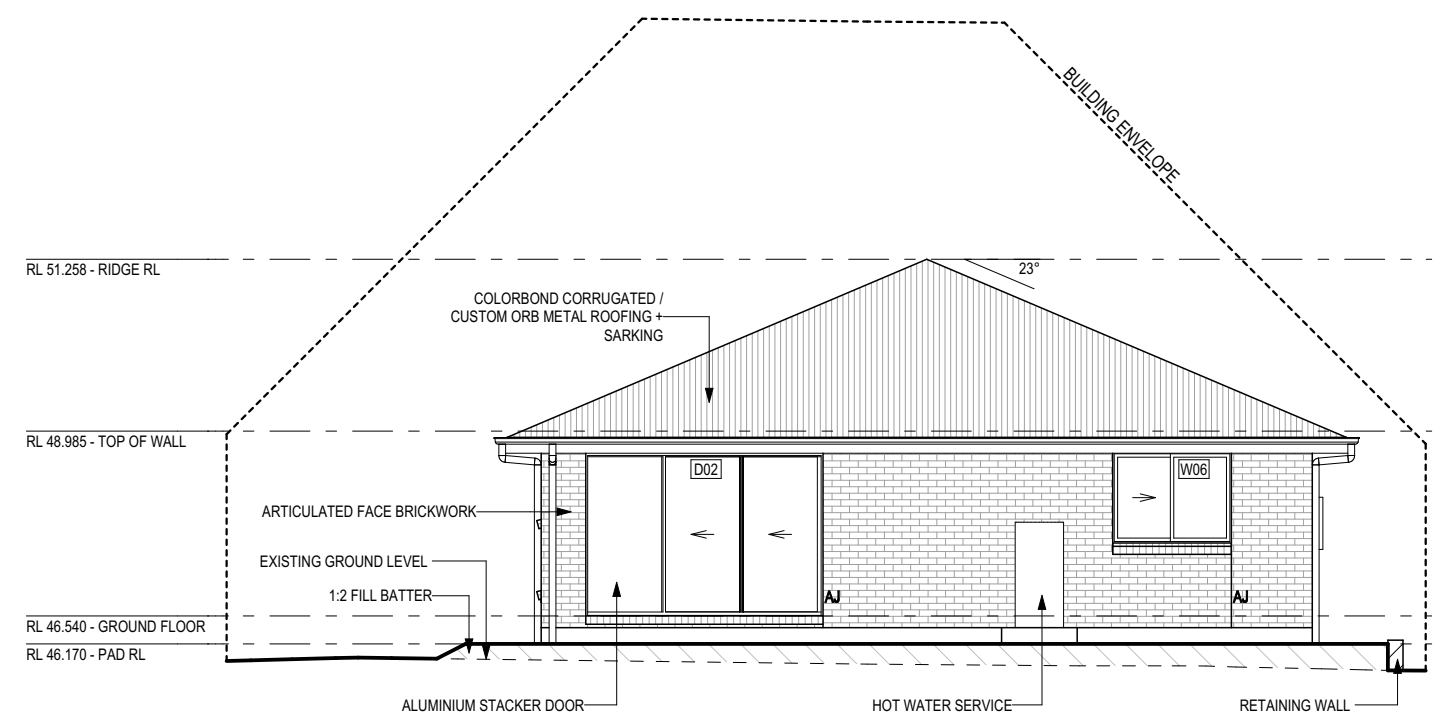
REFER TO THE FOLLOWING DETAILS:
 BRICK COURSING W-BRIC-001



EAST ELEVATION
SCALE: 1:100

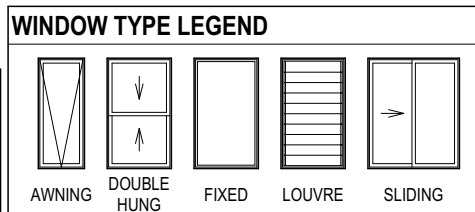
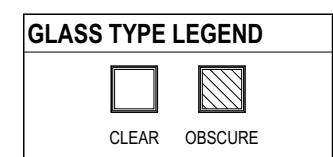


SECTION A-A
SCALE: 1:100



WEST ELEVATION
SCALE: 1:100

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**



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REVISION	DRAWN
1 DRAFT SALES PLAN - CT1	JOL 08/04/2024
2 PRELIM PLANS - INITIAL ISSUE	DKZ 11/04/2024
3 PRELIM PLANS - RFI UPDATE	HMI 18/06/2024

CLIENT: HEATHER KATHLEEN MURPHY
ADDRESS: 15 DANES AVE, ROKEBY TAS 7019
LOT / SECTION / CT: 47 / - / 18127
COUNCIL: CLARENCE COUNCIL

HOUSE DESIGN: OLINDA 15
FACADE DESIGN: CLASSIC
SHEET TITLE: ELEVATIONS / SECTION

HOUSE CODE: H-WDCOLN10SA
FACADE CODE: F-WDCOLN10CLASA
SCALES: 1:100

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714003

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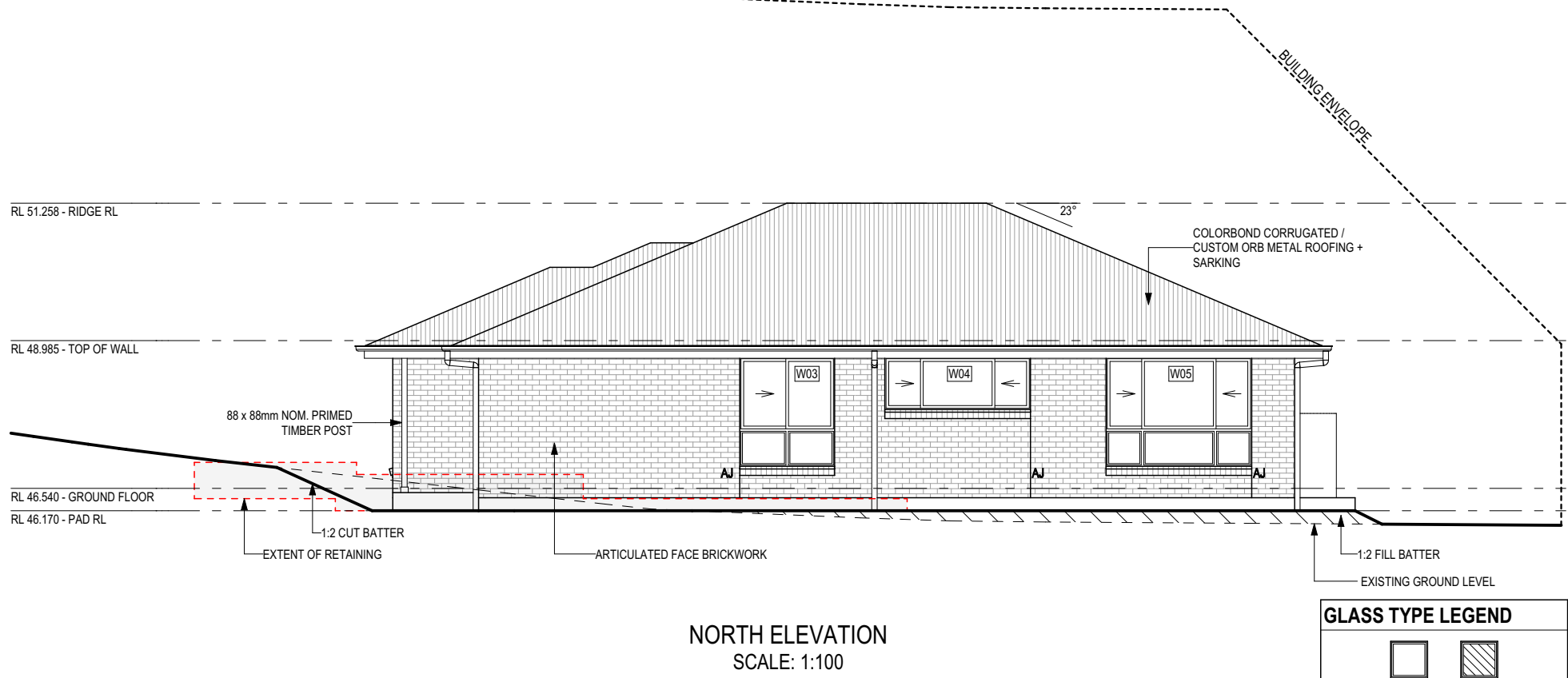
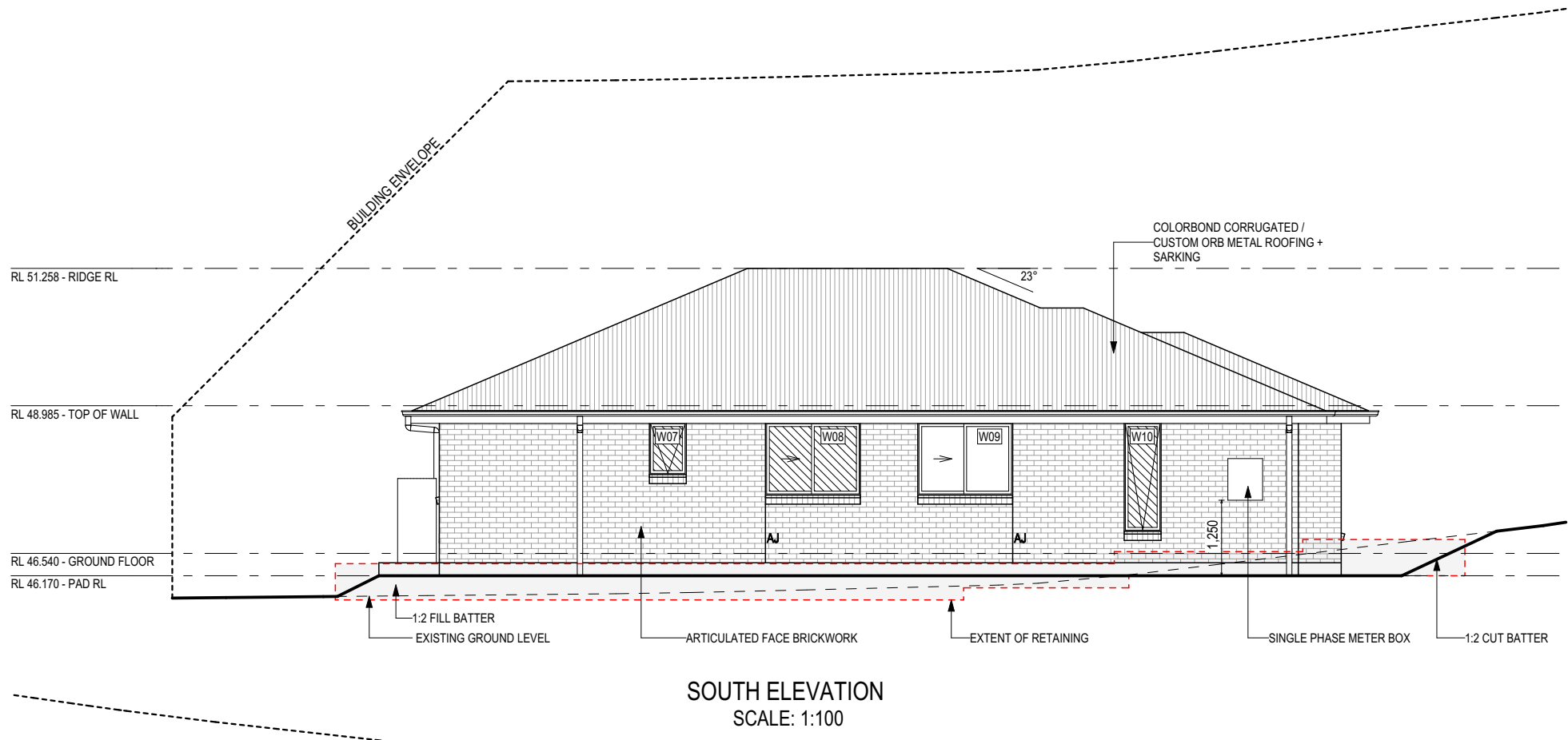
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BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
 BRICK COURSING W-BRIC-001



GLASS TYPE LEGEND

CLEAR	OBSCURE

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

**SUBJECT TO NCC 2022
 (1 MAY 2023)
 WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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SPECIFICATION:
DISCOVERY
 COPYRIGHT:
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REVISION	DRAWN
1 DRAFT SALES PLAN - CT1	JOL 08/04/2024
2 PRELIM PLANS - INITIAL ISSUE	DKZ 11/04/2024
3 PRELIM PLANS - RFI UPDATE	HMI 18/06/2024

CLIENT:
HEATHER KATHLEEN MURPHY
 ADDRESS:
15 DANES AVE, ROKEBY TAS 7019
 LOT / SECTION / CT:
47 / - / 18127
 COUNCIL:
CLARENCE COUNCIL

HOUSE DESIGN:
OLINDA 15
 FACADE DESIGN:
CLASSIC
 SHEET TITLE:
ELEVATIONS

HOUSE CODE:
H-WDCOLN10SA
 FACADE CODE:
F-WDCOLN10CLASA
 SCALES:
1:100

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714003

EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE (SINGLE GLAZING U.N.O.)	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	AFA1824	AWNING	BED 1	1,800	2,410	8,420	4.34	ALUMINIUM	N/A	ANGLED	E	3.53	CLEAR	MP 803-803
GROUND FLOOR	W02	AFA1824	AWNING	BED 4	1,800	2,410	8,420	4.34	ALUMINIUM	N/A	ANGLED	E	3.53	CLEAR	MP 803-803
GROUND FLOOR	W03	SF/FF1816	SLIDING	STUDY NOOK	1,800	1,570	6,740	2.83	ALUMINIUM	N/A	ANGLED	N	2.39	CLEAR	BP 600, MP 785/0
GROUND FLOOR	W04	SFS0924	SLIDING	GRAND LIVING	860	2,410	6,540	2.07	ALUMINIUM	N/A	ANGLED	N	1.78	CLEAR	
GROUND FLOOR	W05	SFS/FFF1824	SLIDING	DINING	1,800	2,410	8,420	4.34	ALUMINIUM	N/A	ANGLED	N	3.70	CLEAR	BP 600, MP 603-1205/0
GROUND FLOOR	W06	SF1216	SLIDING	BED 3	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	ANGLED	W	1.64	CLEAR	
GROUND FLOOR	W07	A0906	AWNING	WC	860	610	2,940	0.52	ALUMINIUM	N/A	ANGLED	S	0.35	OBSCURE	
GROUND FLOOR	W08	SF1216	SLIDING	BATH	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	ANGLED	S	1.64	OBSCURE	
GROUND FLOOR	W09	SF1216	SLIDING	BED 2	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	ANGLED	S	1.64	CLEAR	
GROUND FLOOR	W10	A1806	AWNING	ENS	1,800	610	4,820	1.10	ALUMINIUM	N/A	ANGLED	S	0.81	OBSCURE	
								25.18					21.01		
DOOR															
GROUND FLOOR	D01	820	SWINGING	ENTRY	2,097	876	5,946	1.84	ALUMINIUM	N/A	SNAP HEADER	E	1.23	N/A	
GROUND FLOOR	D02	FSS2158x3138	STACKER	DINING	2,158	3,138	8,856	6.77	ALUMINIUM	N/A	SNAP HEADER	W	4.24	CLEAR, TOUGHENED	
								8.61					5.47		
								33.79					26.48		

NOTE:
Provide BAL-12.5 rated aluminium windows and external glass sliding doors in lieu of standard.
Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

LOW REFLECTANCE GLAZING TO BE USED ON WINDOWS AND GLAZED DOORS AS REQUIRED BY CLA-S4.7.1

Manufacturer - Clark Windows			
Window Type	Glazing	U-Value	SHGC
Awning	Single	6.5	0.67
	Double	4.1	0.57
Fixed	Single	5.9	0.75
	Double	3.2	0.67
Sliding	Single	6.4	0.76
	Double	4.2	0.59
Fixed Pane	Single	5.9	0.75
	Double	3.2	0.67
Fixed Glass Panel Hinged Door	Single	6.0	0.62
	Double	4.3	0.55
Sliding Door	Single	6.1	0.74
	Double	3.6	0.66
Stacking Door	Single	6.3	0.74
	Double	3.8	0.66
135 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
135 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
90 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
90 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
Bifold Doors	Single	6.1	0.61
	Double	4.4	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their operability restricted as per N.C.C 11.3.6.

SUBJECT TO NCC 2022 (1 MAY 2023) WATERPROOFING & PLUMBING

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INTERIOR WINDOW & DOOR SCHEDULE


STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	4	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
GROUND FLOOR	2	2 x 460	SWINGING	2,040	920	N/A	
GROUND FLOOR	2	2 x 720	SWINGING	2,040	1,440	N/A	
GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	
GROUND FLOOR	1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
GROUND FLOOR	8	820	SWINGING	2,040	820	N/A	
GROUND FLOOR	2	900 SS	SQUARE SET OPENING	2,155	900	N/A	

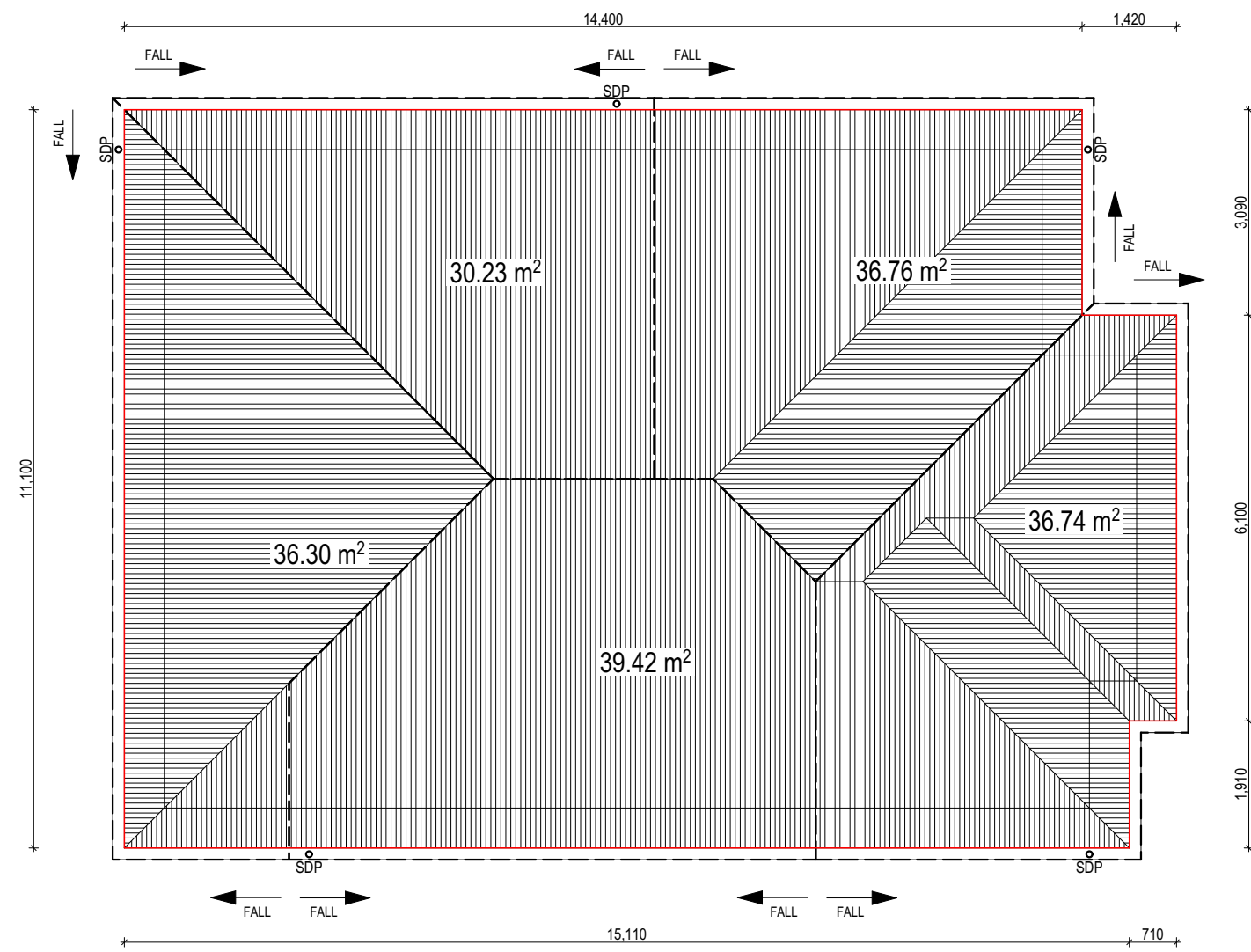
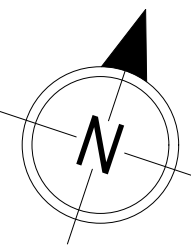
PICTURE, TV RECESS AND SS WINDOW OPENINGS				
QTY	TYPE	HEIGHT	WIDTH	AREA (m²)

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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	COPYRIGHT: © 2024	1 DRAFT SALES PLAN - CT1	JOL 08/04/2024	HEATHER KATHLEEN MURPHY	OLINDA 15	H-WDCOLN10SA	
		2 PRELIM PLANS - INITIAL ISSUE	DKZ 11/04/2024	ADDRESS: 15 DANES AVE, ROKEBY TAS 7019	FACADE DESIGN: CLASSIC	FACADE CODE: F-WDCOLN10CLASA	
		3 PRELIM PLANS - RFI UPDATE	HMI 18/06/2024	LOT / SECTION / CT: 47 / - / 18127	COUNCIL: CLARENCE COUNCIL	SCALES:	SHEET No.: 7 / 13
					WINDOW & DOOR SCHEDULES		714003



WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREAS SHOWN ARE SURFACE AREAS/CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	169.86	Flat Roof Area (excluding gutter and slope factor) (m ²)
	184.53	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2018)		
Ah	179.45	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	217.13	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2018) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2018)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2018) (m ²)
Required Downpipes	3.4	Ac / Acdp
Downpipes Provided	5	

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EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

SUBJECT TO NCC 2022 (1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

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REVISION	DRAWN
1 DRAFT SALES PLAN - CT1	JOL 08/04/2024
2 PRELIM PLANS - INITIAL ISSUE	DKZ 11/04/2024
3 PRELIM PLANS - RFI UPDATE	HMI 18/06/2024

CLIENT:
HEATHER KATHLEEN MURPHY
ADDRESS:
15 DANES AVE, ROKEBY TAS 7019
LOT / SECTION / CT:
47 / - / 18127
COUNCIL:
CLARENCE COUNCIL

HOUSE DESIGN:
OLINDA 15
FACADE DESIGN:
CLASSIC
SHEET TITLE:
ROOF DRAINAGE PLAN

HOUSE CODE:
H-WDCOLN10SA
FACADE CODE:
F-WDCOLN10CLASA
SHEET No.:
8 / 13
SCALES:
1:100







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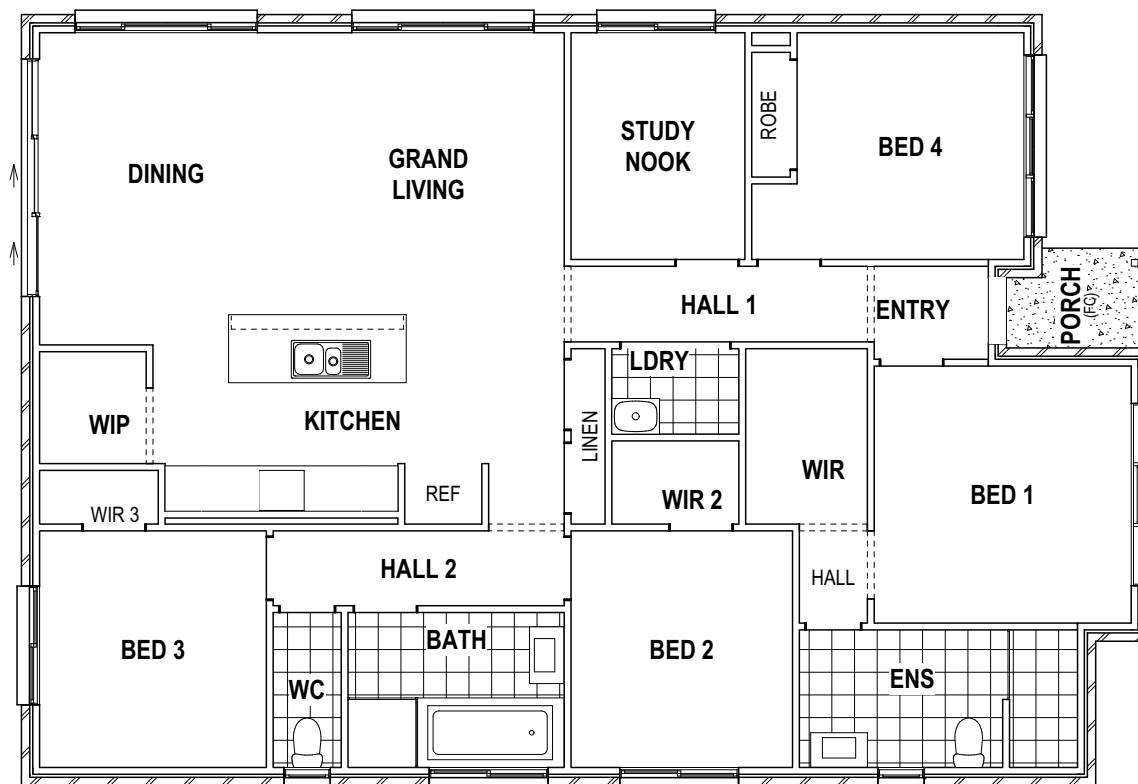
714003

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

-  NO COVERING
-  COVER GRADE CONCRETE
-  CARPET
-  LAMINATE
-  TILE (STANDARD WET AREAS)
-  TILE (UPGRADED AREAS)



PRELIMINARY

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

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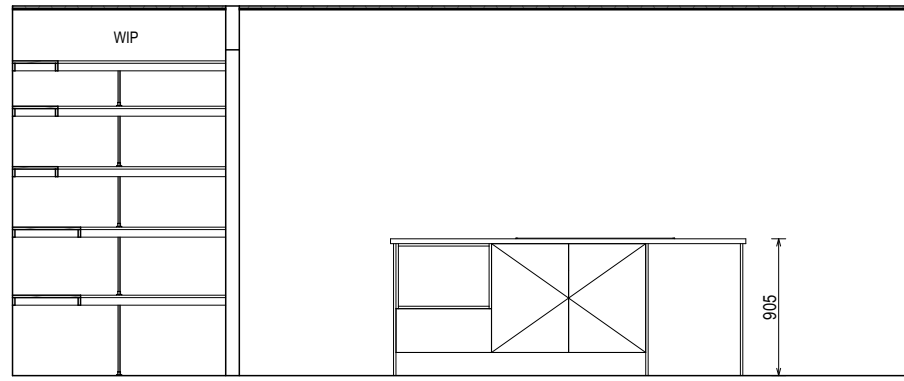
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1 DRAFT SALES PLAN - CT1	JOL 08/04/2024	HEATHER KATHLEEN MURPHY
2 PRELIM PLANS - INITIAL ISSUE	DKZ 11/04/2024	ADDRESS: 15 DANES AVE, ROKEBY TAS 7019
3 PRELIM PLANS - RFI UPDATE	HMI 18/06/2024	LOT / SECTION / CT: 47 / - / 18127
		COUNCIL: CLARENCE COUNCIL

HOUSE DESIGN: OLINDA 15	HOUSE CODE: H-WDCOLN10SA	
FACADE DESIGN: CLASSIC	FACADE CODE: F-WDCOLN10CLASA	
SHEET TITLE: FLOOR COVERINGS	SHEET No.: 9 / 13	SCALES: 1:100

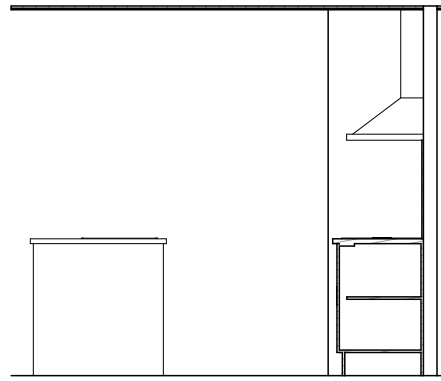
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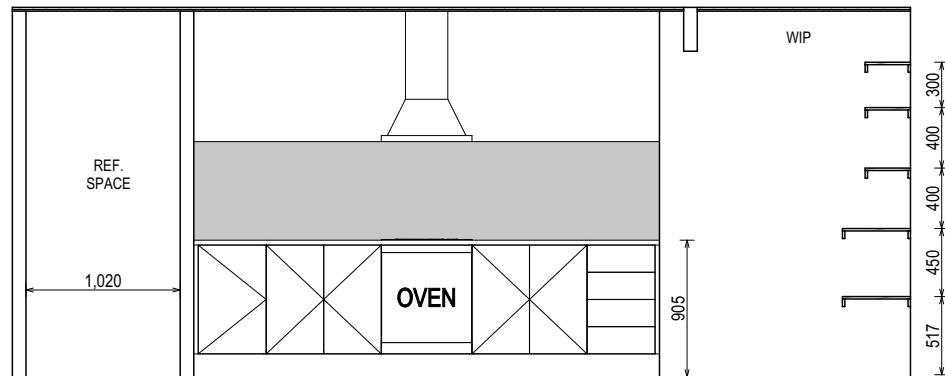
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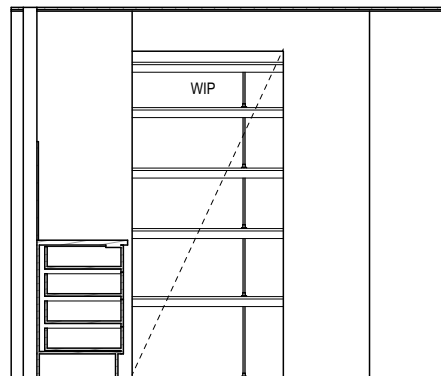
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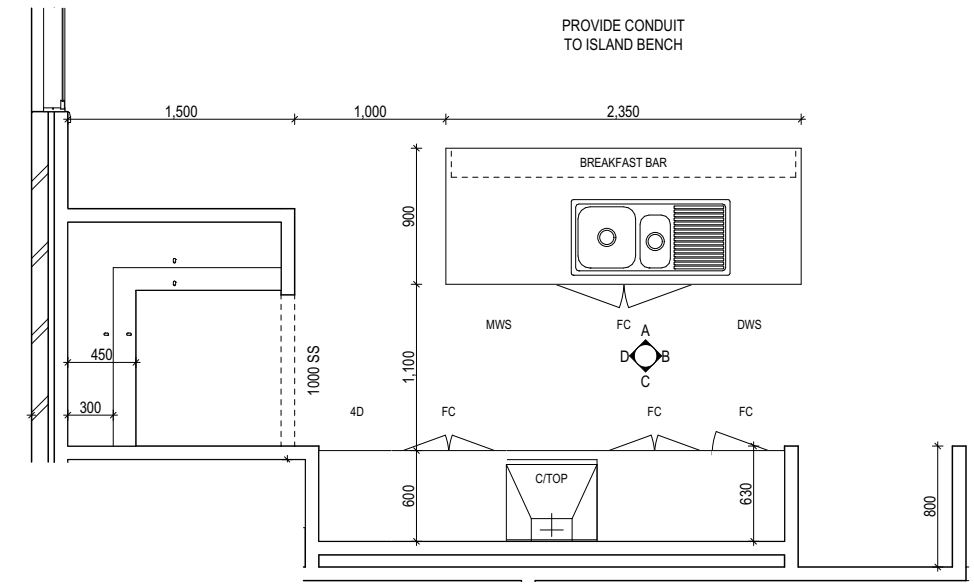
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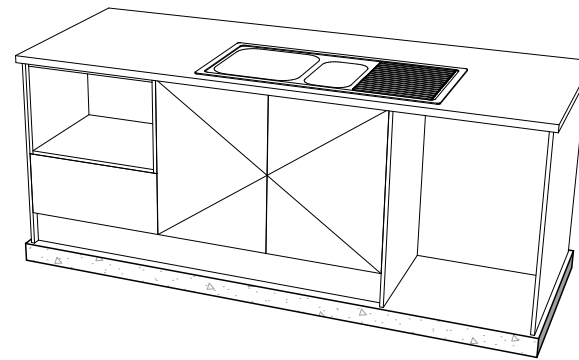
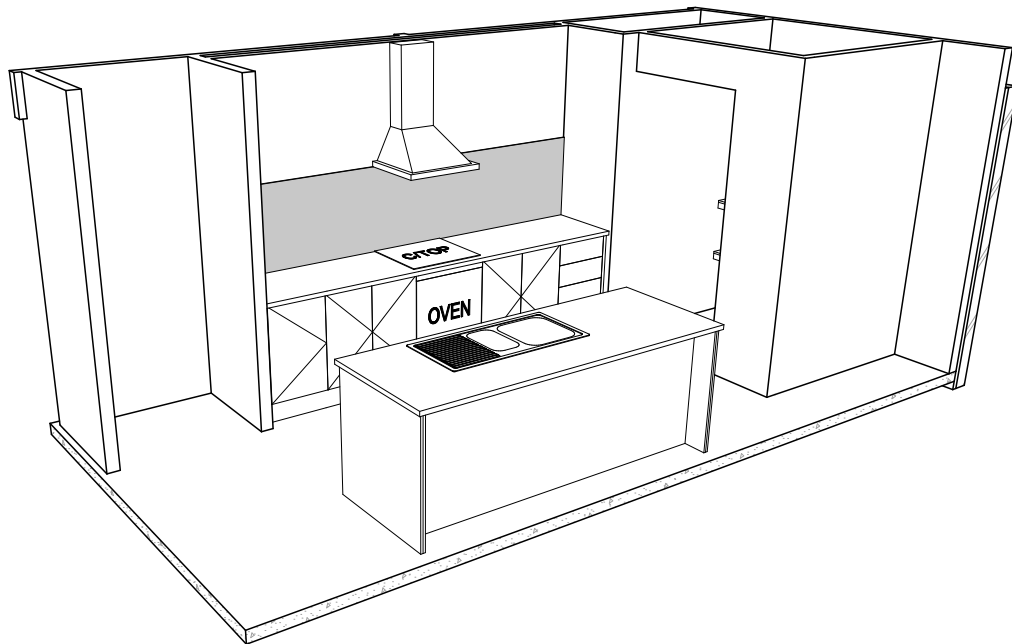
ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50



PRELIMINARY

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER	
SIGNATURE: _____	DATE: _____
SIGNATURE: _____	DATE: _____
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		2 PRELIM PLANS - INITIAL ISSUE	DKZ 11/04/2024	LOT / SECTION / CT: 47 / - / 18127	COUNCIL: CLARENCE COUNCIL	SHEET TITLE: KITCHEN DETAILS	
		3 PRELIM PLANS - RFI UPDATE	HMI 18/06/2024			SCALES: 1:50	714003

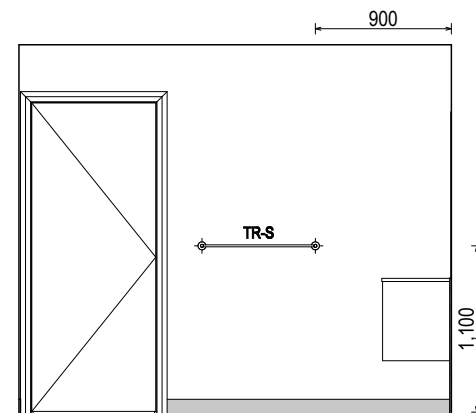
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Template Version: 24.036

REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS G-VANI-001
 WINDOW OVER BATH HOB D-WIND-ALU001
 STANDARD BATH HOB D-WETA-BATH003
 WET AREA TILING LAYOUTS D-WETA-TILE002
 SQUARE SET WINDOWS G-WIND-SSET02
 FULL HEIGHT TILING D-LINI-WETA

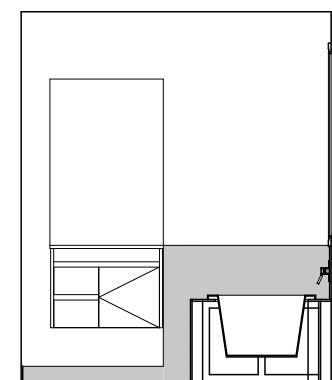
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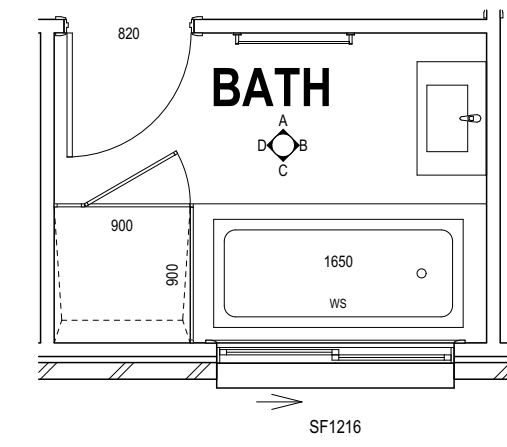
LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



ELEVATION A
SCALE: 1:50



ELEVATION B
SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50

SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS
"SMALL"	470 x 380mm
"MEDIUM"	800 x 380mm
"LARGE"	1500 x 380mm

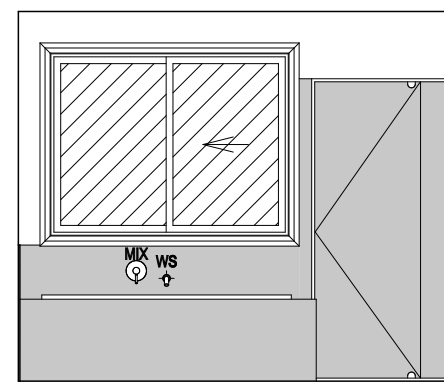
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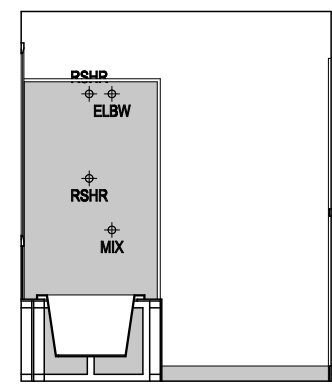
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ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

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		3 PRELIM PLANS - RFI UPDATE	HMI 18/06/2024	LOT / SECTION / CT: 47 / - / 18127	COUNCIL: CLARENCE COUNCIL	SHEET No.: 11 / 13	SCALES: 1:50
					BATHROOM DETAILS		714003

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 Template Version: 24_036
 Last Published: Tuesday, 18 June 2024 4:30 PM

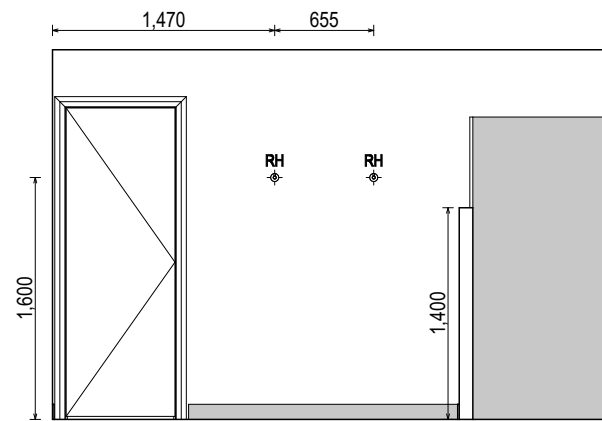
REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS G-VANI-001
 WINDOW OVER BATH HOB D-WIND-ALU001
 STANDARD BATH HOB D-WETA-BATH003
 WET AREA TILING LAYOUTS D-WETA-TILE002
 SQUARE SET WINDOWS G-WIND-SSET02
 FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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 - GENERAL BUILDING INFORMATION

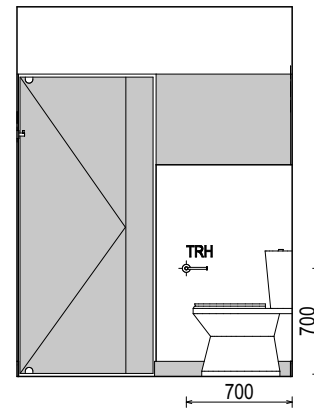
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LEGEND

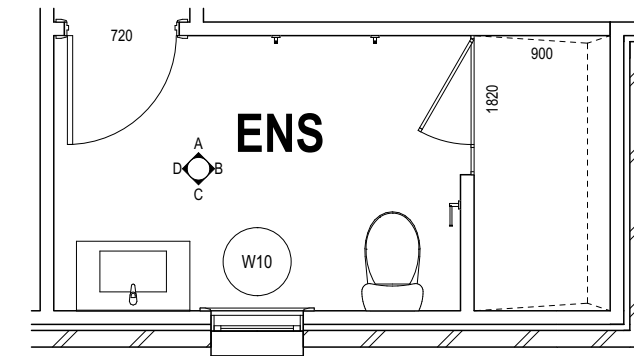
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



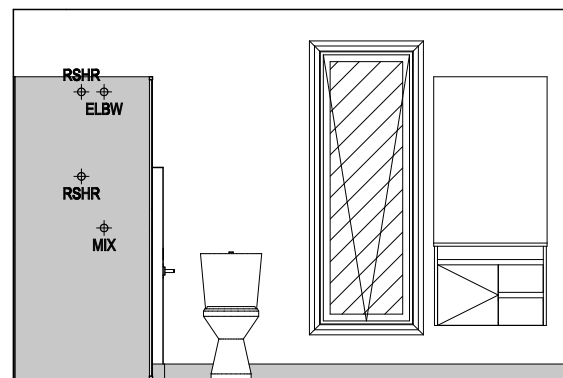
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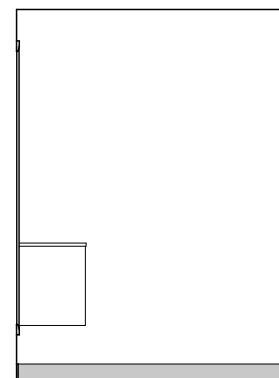
ELEVATION B
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
		WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm	446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

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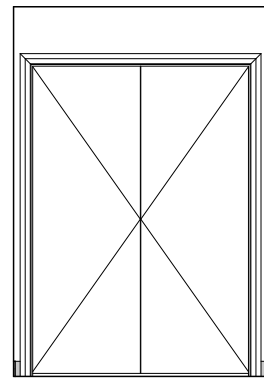
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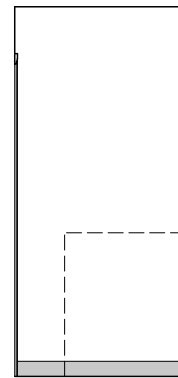
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		3 PRELIM PLANS - RFI UPDATE	HMI 18/06/2024	LOT / SECTION / CT: 47 / - / 18127	COUNCIL: CLARENCE COUNCIL	SHEET No.: 12 / 13	SCALES: 1:50 714003

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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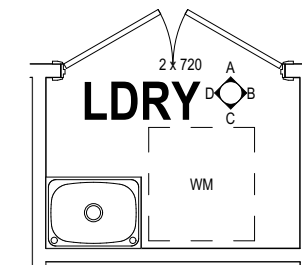
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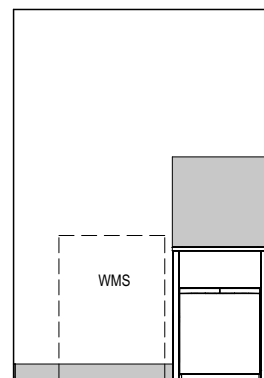
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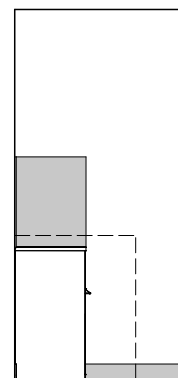
ELEVATION B
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

PRELIMINARY

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER	
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		2 PRELIM PLANS - INITIAL ISSUE	DKZ 11/04/2024	LOT / SECTION / CT: 47 / - / 18127	COUNCIL: CLARENCE COUNCIL	SHEET TITLE: LAUNDRY DETAILS	
		3 PRELIM PLANS - RFI UPDATE	HMI 18/06/2024			SCALES: 1:50	714003

Last Published: Tuesday, 18 June 2024 4:30 PM
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Template Version: 24.036

STORMWATER REPORT

FOR HBA DAESUNG PTY LTD

163 Pass Road

September 2019

Issuing Office: 117 Harrington Street, Hobart 7000								
JMG Project No. J191133CH								
Document Issue Status								
Ver.	Issue Date	Description	Originator		Checked		Approved	
1	30.09.2019	Issued for Building Approval	JMB	<i>JMB</i>	RH	<i>JM</i>	GLA	<i>ha</i>

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TABLE OF CONTENTS

1. Introduction	4
2. Clarence Plains Rivulet.....	4
2.1. HEC-RAS Model	4
2.2. Addressing Council Requirements.....	5
3. Detention Basin.....	6
2.3. Pipe and orifice sizing	7
4. Wetland	7
5. Conclusions and Recommendations.....	8
6. References	8

Appendix A - GHD flood modelling flow data

Appendix B - JMG Flood modelling drawings

Appendix C - Calculations

1. Introduction

A 175 Lot subdivision is planned for 163 Pass Road, Rokeby. Hutchings Spurr (HS) consulting engineers are undertaking detailed design for the development and have engaged JMG Engineers and Planners to assist with Stormwater design.

Hutchings Spurr have previously provided a Stormwater Design Report (HS Report) to Council (ref 17285/1, dated 18 March 2019). This report should be read in conjunction with the Hutchings Spurr report and specifically addresses the following issues raised by Councils Asset Planning Engineer Glen Popowski:

Clarence Plains Rivulet:

- Ensure no increase in 1% AEP flood level upstream of development
- Show 1%AEP flood levels/extents through the development and ensure controls in place to mitigate risks
- Identify flood hazards and risk mitigation strategies
- Determine bed shear stresses and select appropriate swale surface treatment

Detention Basin:

- Provide detention storage calculations to prove that the proposed storage volume and configuration reduces post development runoff rates to pre-development levels using an inflow/outflow model.

Wetland

- Verify wetland treatment efficiency using MUSIC model

2. Clarence Plains Rivulet

To address the issues outlined in Section 1, a HEC-RAS model capable of analyzing the pre and post development scenarios was developed. The design philosophy for the Rivulet is to take upstream flows through the development via an open swale capable of taking the 1% AEP flood flow. A small pipe is also proposed under the swale to take small nuisance flows providing a mostly dry swale corridor for multipurpose recreational use.

5% AEP runoff from the development area will be captured and directed to detention and treatment facilities before being discharged into the Rivulet downstream of the development site. Overland flows exceeding the 5% AEP event will discharge into the swale via roadways.

2.1. HEC-RAS Model

Terrain

To address the questions of council both pre and post development terrain were required for modelling. The predevelopment surface used a combination of land survey and Lidar data (Geoscience Australia, 2013). The post development surface was a combination of the natural (predevelopment) surface, the Hutchings Spurr subdivision design and the JMG swale design.

JMG Swale Design -

The swale is a trapezoidal shape for much of its length, with the only variations occurring under the proposed bridge locations where it tapers into and out of a rectangular section. At a minimum, the base of the trapezoidal swale needs to be 2m in width and 1m deep, with side slopes approximately 1:8. The rectangular section under roads has a base width of approximately 16m.

It is proposed to install a DN450 pipe under the swale to take low rainfall events. The pipes capacity at 1% grade is approximately 300l/s, which equates to runoff from the upstream 278-hectare catchment with a rainfall intensity of approximately 2mm/hr. It could therefore be expected that the swale will be dry most of the time with culvert capacity exceeding a once per month rainfall recurrence interval. Pits will be spaced regularly along the swale invert to capture runoff.

For the purposes of assessing swale capacity, the DN450 pipe has been ignored.

Geometry

The 2D area was defined as a large region around the rivulet, with an upstream boundary condition (Inlet 1) set just north of the dam on the 187 Pass Rd property. A further two inlets enter the site, one approximately halfway down the western boundary (Inlet 2) and another (Inlet 3, also entering from the west) at the bottom of the site just to the north of the only outlet. Outlet 1 is located just upstream of the dam on the 101 Pass Rd property.

The inlet locations align with the overall catchment HEC-RAS model created by GHD. JMG were instructed by the Clarence City Council to adopt the findings of GHD for any further hydraulic modelling.

A Manning's coefficient of 0.027 was assigned to the whole mesh. This is the value defined (by Chow, 1959) for straight and uniform channels with short grass. This assumption is considered appropriate as most of the flow is contained within the grass lined swale.

Flows

The GHD hydraulic analysis of the Clarence Plains Rivulet determined 1% AEP flows at various cross sections (Appendix A - GHD flood modelling flow data).

Immediately to the north of the site (through cross section QA1) the 1% AEP flow is 19.4m³/s. The inflow approximately halfway down the site was determined by subtracting QA1 from QB (21.2m³/s) - 1.8m³/s, and the final inflow (QB1) is 1.5m³/s. The inlet flows increase linearly from zero to their respective peaks over the critical storm duration (360 minutes, as outlined by GHD), before decreasing back to zero over approximately 12 hours. The DN450 pipe is assumed to not take any of this flow.

2.2. Addressing Council Requirements

- **Ensure no increase in 1% AEP flood level upstream of development**

Drawing J191133CH-C01 (Appendix B - JMG flood modelling drawings) displays the extent of flooding from the pre and post development modelling and indicates the extent of inundation to the north remains the same.

- **Show 1% AEP flood levels/extents through the development and ensure controls in place to mitigate risks**

The HEC-RAS model was used to confirm the proposed swale has capacity to wholly contain the 1% AEP flow. The flooding extents/depths can be seen on drawings J191133CH-C01 & C02 (Appendix B - JMG flood modelling drawings).

- **Identify flood hazards and risk mitigation strategies**

1% AEP flows are wholly contained within the swale, which is a defined floodway bounded by property fences and accessed from each end via roadways and paths. It is understood that the swale corridor is also to be used as a multiuse path/trail. It is highly unlikely that the swale corridor will be used as a pathway during significant rainfall events as conditions would be less than favourable for recreation. Furthermore, water levels would expect to rise slowly giving opportunity for users to evacuate the swale area via shallow batter slopes.

- Determine bed shear stresses and select appropriate swale surface treatment

The velocity through the swale varies from 2-5.3m/s. Appropriate erosion control measures (such as the 'Grassroots' product from Geotas) will be installed to mitigate any possible issues.

3. Detention Basin

As requested by Council, the proposed detention storage basin has been checked to ensure that post development flows will be reduced to pre-development levels for rainfall events less than 5%AEP.

Pre-development 5%AEP flows from the site were estimated by HS to be 816l/s for a 20-minute storm duration. These were checked by JMG and a flow of 818l/s estimated, which was adopted for detention storage calculations. Refer Appendix C for calculations.

Post development flows for various storm durations were modelled in Excel to flow into a detention basin with area of 1030m² and a time step of one minute. The outlet orifice size from the basin was then selected to ensure outflows remained less than the pre-development level of 818l/s. It was found that the critical storm duration of 15 minutes and time of concentration of 26 minutes results in a detention storage depth of 730mm and resulting volume of 750m³.

The proposed detention basin has a depth of 1.3m from outflow level (40.60m) to spillway overflow level (41.90m) and a corresponding storage volume of 1340m³. It is proposed to use the bottom 200mm of this basin to provide a sedimentation basin for the wetlands. The outflow pipe to the wetlands will therefore have an invert at 40.60m and will be sized to limit flows to the 100% AEP flow of 135l/s (refer HS Report). Once water levels reach 40.80m in the basin flows will then begin to discharge directly to the adjacent Rivulet via a pipe sized to limit flows to pre-development levels for a 5% AEP event (818l/s). There is 1.1m (41.90 - 40.80) of effective detention storage height in the basin above discharge level, providing approximately 1130m³ of storage. This is well in excess of the required 750m³. Refer Figure 1.

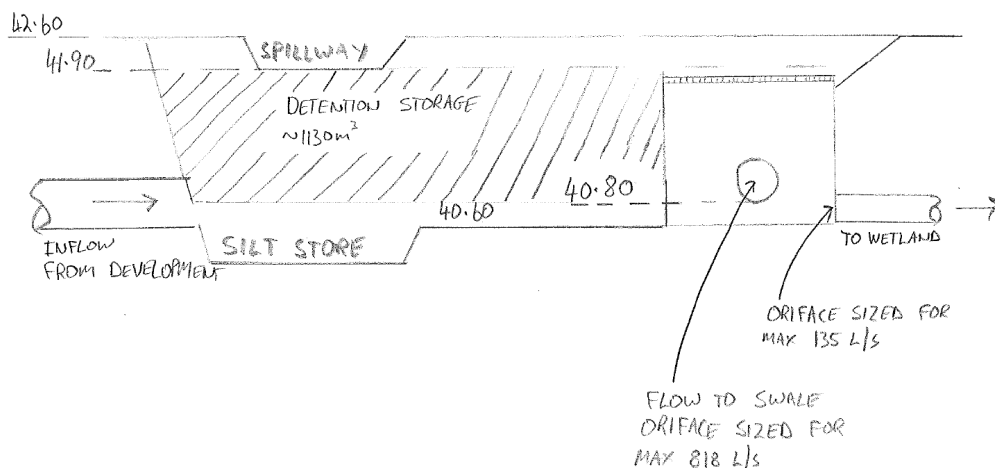


Figure 1 - Detention storage detail

2.3. Pipe and orifice sizing

Wetland inflow

Inflow to the wetland is required to be limited to the 100% AEP flow level of 135l/s. The worst case scenario for sizing the outflow would be when the detention basin is full and the wetland is empty. However, this is an unlikely scenario as the wetland will fill up as the detention basin fills. Therefore, the orifice is designed assuming both basins are full:

- Upstream water level 41.90m
- Downstream water level 41.55m
- Driving head 0.35m

With this assumption, a 330mm orifice is required. Given a short pipe run, a DN375 pipe could be used with a 330mm orifice on the upstream end or alternatively a DN300 pipe with no orifice would limit flows to about the right level. For simplicity, the latter is recommended.

Detention outflow to swale

Outflow from the detention basin needs to be less than the pre-development 5% AEP flow rate of 818l/s. During a high rainfall event it is likely that the swale is running full with an estimated water surface level of 41.2m. Maximum water level in the detention basin is 41.90m providing approximately 0.7m of head on the outlet orifice. The subsequent outlet orifice size therefore is required to be approximately 680mm, which should be fitted to a DN750 outlet pipe with invert level of 40.80m in the detention basin outlet structure.

As a design check, if the swale is empty and the detention basin is full (unlikely) there would be 1.1m of head from the pipe invert to the basin overflow level, which equates to 0.725m design head on the orifice and a similar discharge rate. Therefore, a 680mm orifice is still required. Refer Appendix C for calculations.

4. Wetland

The proposed wetland has an average area of 332m² and a working height of 0.6m between permanent pool level (40.5m) and overflow level (41.1m) with a detention storage capacity of 200m³.

Wetlands are often designed to provide 1-3 days of detention time to allow macrophytes to cleanse the water. In order to achieve this, very small orifices would be required on the outlet riser. Small orifices are prone to blocking and are deemed to be a maintenance burden. It is therefore recommended to have a minimum orifice size of 50mm.

With 50mm orifices spaced at 125mm vertical intervals on the outlet riser between RL 40.5 and RL 41.1 (total of 4 x 50mm orifices) the detention time varies between 4 and 6 hours depending on water surface level. These times assume that there is no inflow so actual detention times will be greater. Refer Appendix C for calculations and sketch.

The proposed treatment train has been modelled using MUSIC (Model for Urban Stormwater Improvement Conceptualisation) with the following inputs and results:

- Catchment Area 19.2ha with 43% impervious (as per HS Report)
- Detention basin with 1030m² surface area and 1.30m extended detention depth
- Wetland with:
 - an effective inlet pond of 200m³ and a high flow bypass of 135l/s
 - Storage surface area 332m², extended detention depth of 0.6m and permanent pool volume of 157m³. Outlet restrained to provide 4 hours detention.

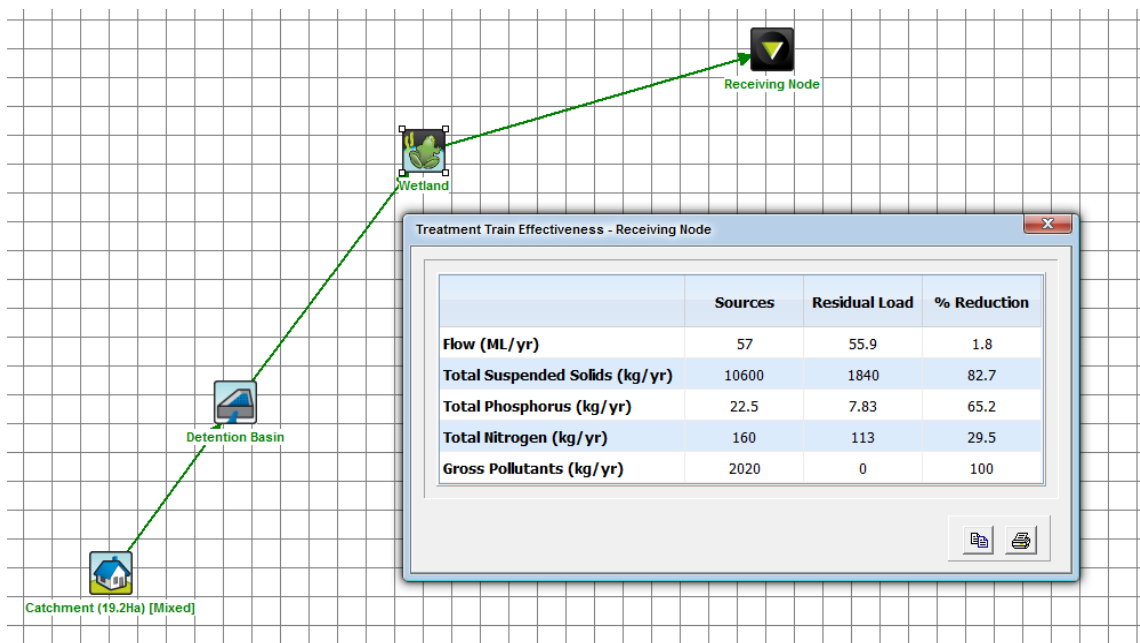


Figure 2 - MUSIC model results

As can be seen from the MUSIC model results, stormwater treatment complies with best practice pollutant reductions in all parameters other than Total Nitrogen, where the target of 45% is not met. In order to achieve the 45% reduction level a wetland of around 6000m² would be required, which is not considered viable given the site constraints. Therefore, the achieved level of 30% is considered acceptable.

5. Conclusions and Recommendations

The proposed swale, detention storage and wetland comply with best practices and Council requirements in all aspects other than the reduction of Total Nitrogen (TN). The achieved reduction in TN of 30% is considered acceptable given site constraints.

The following is a summary of design requirements to achieve the required outcomes:

1. Swale design as per JMG model with minimum 2m wide base, side slopes of 1:8 and minimum depth of 1.0m. Bridges to be clear of the 1% AEP water level with minimum 300mm freeboard. If a 500mm wide central bridge support is used, an additional 300mm of freeboard is required. Furthermore, the upstream edge of the support should be shaped to minimise turbulence and the support should be parallel with flow direction.
2. Provide erosion control geofabric (such as "Grassrotts") throughout the entire swale.
3. Detention storage with minimum average area of 1030m² and depth of 1.1m. Outlet orifice sized for maximum flow of 818l/s, approximately 680mm diameter.
4. Flow to wetland from detention storage limited to 135l/s - use a DN300 pipe.
5. Wetland sized with minimum average area of 332m², 0.6m extended detention depth and 4 hours detention time.

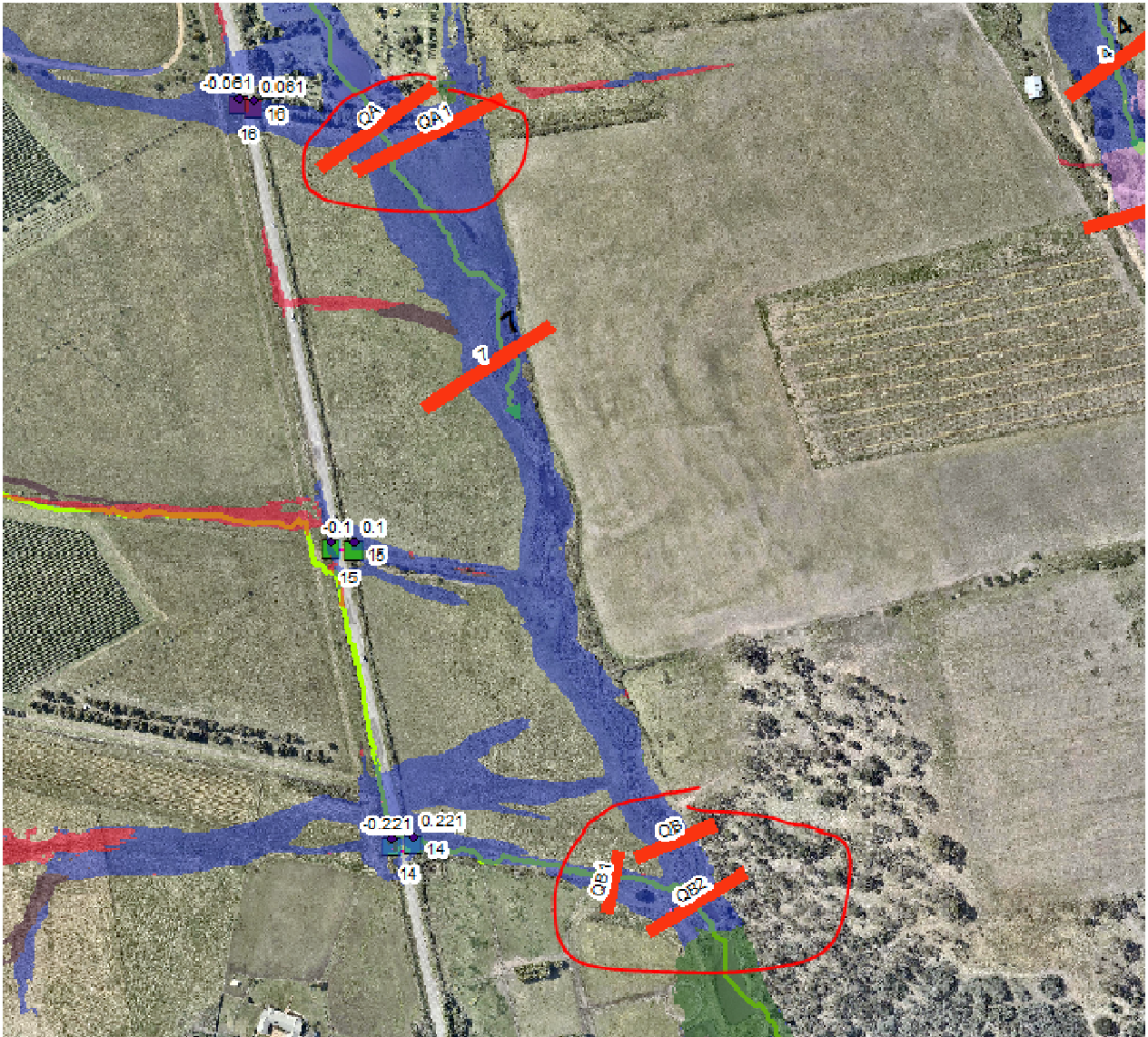
6. References

Chow, V. T. (1959). Open-Channel Hydraulics. *Science*, 680.



APPENDIX A

GHD flood modelling flow data



Regards

Fiona Haynes
Senior Civil Engineer

GHD

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From: Hai Chen
Sent: Thursday, 15 March 2018 1:26 PM
To: Fiona Haynes <Fiona.Haynes@ghd.com>
Subject: RE: Clarence Plains Rivulet

ID	Type	Source	Peak Q (0000yr) m³/d	Peak Q (return) m³/d	0000	0010	0020	0030	0040	0050	0060	0070	0080	0090	0100	0110	0120	0130	0140	0150	0160	0170	0180	0190	0200	0210	0220	0230	0240	0250	0260	0270	0280	0290	0300								
001	FD	D	14.4	14.4	1.5	0.0	3.4	4.0	4.4	5.0	6.0	7.8	10.0	14.4	0.0	7.4	8.4	8.0	20.0	0.0	18.0	20.0	20.0	18.0	18.0	16.0	16.0	14.0	14.0	12.0	12.0	10.0	10.0	8.0	8.0	6.0	6.0	4.0	4.0	2.0	2.0	0.0	0.0
001A	FD	D	11.9	11.9	1.5	0.0	3.4	4.0	4.4	5.0	6.0	7.8	10.0	14.4	0.0	7.4	8.4	8.0	20.0	0.0	18.0	20.0	20.0	18.0	18.0	16.0	16.0	14.0	14.0	12.0	12.0	10.0	10.0	8.0	8.0	6.0	6.0	4.0	4.0	2.0	2.0	0.0	0.0
001B	FD	D	13.7	13.7	1.5	0.0	3.4	4.0	4.4	5.0	6.0	7.8	10.0	13.7	0.0	8.3	9.3	8.8	21.1	0.0	19.0	21.0	21.0	19.0	19.0	17.0	17.0	15.0	15.0	13.0	13.0	11.0	11.0	9.0	9.0	7.0	7.0	5.0	5.0	3.0	3.0	1.0	1.0
001C	FD	D	8.8	8.8	1.4	0.0	3.5	3.8	4.1	4.5	5.1	6.1	8.1	12.2	0.0	6.5	6.5	6.5	13.5	0.0	12.5	13.5	13.5	12.5	12.5	11.0	11.0	10.0	10.0	9.0	9.0	8.0	8.0	7.0	7.0	6.0	6.0	5.0	5.0	4.0	4.0	3.0	3.0
001D	FD	D	14.2	14.2	1.5	0.0	3.5	4.0	4.5	5.1	6.1	8.1	11.2	14.2	0.0	8.7	10.1	10.1	7.0	11.0	0.0	10.0	11.0	11.0	10.0	10.0	9.0	9.0	8.0	8.0	7.0	7.0	6.0	6.0	5.0	5.0	4.0	4.0	3.0	3.0	2.0	2.0	

Critical duration 540min 360min

APPENDIX B

JMG flood modelling drawings

SAFETY IN DESIGN REPORT
 In accordance with the Workplace Health & Safety Act and Regulations JMG have considered the potential hazards and risks that are specific to this design.
 The following risk rating assessment for the design has been identified:
 The major risks are those associated with the responsibility under the Act to identify, assess, mitigate and manage all aspects of risk and safety.



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BA | 26.09.2019 ISSUED FOR BUILDING APPROVAL
 P1 | 25.08.2019 PRELIMINARY ISSUE

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Discipline Head			JMB	RWH
Team Leader				
Group Manager				



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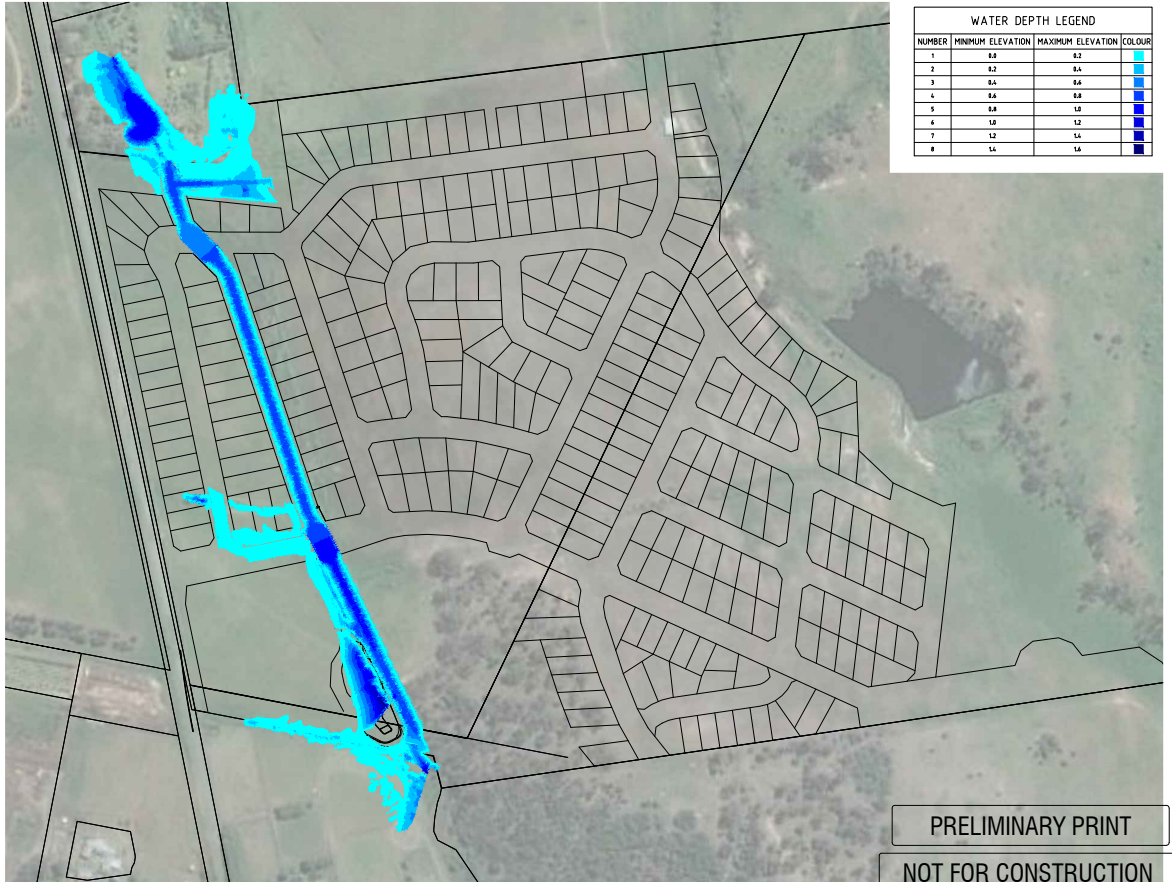
PROJECT
**163 PASS ROAD
 FLOOD MODELLING**

TITLE
**HECRAS FLOOD EXTENTS
 PRE AND POST DEVELOPMENT**

PROJECT NO. **J191133CH**
 DWG NO. **C01** REVISION **BA1**
 PLOT DETAILS CML3D BASE OP12.DWG

SAFETY IN DESIGN REPORT
 In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.
 The following table details the assessment for the design have been identified.
 The table lists all design elements that are responsible under the Act to identify, assess, mitigate and manage all aspects of risk and safety.

WATER DEPTH LEGEND			
NUMBER	MINIMUM ELEVATION	MAXIMUM ELEVATION	CLOUR
1	8.8	8.2	Light Blue
2	8.2	8.4	Medium Blue
3	8.4	8.6	Dark Blue
4	8.6	8.8	Very Dark Blue
5	8.8	1.0	Dark Purple
6	1.0	1.2	Very Dark Purple
7	1.2	1.4	Black
8	1.4	1.6	Dark Blue



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TITLE: HECRAS FLOOD EXTENTS POST DEVELOPMENT 1% AEP WATER DEPTH

PROJECT NO. J191133CH
 DWG NO. C02 REVISION BA1
 PLOT DETAILS CML30 BASE OP12.DWG

APPENDIX C

Calculations

INSERT JOB NUMBER AND NAME U191133CH - 163 Pass Road
CATCHMENT DESCRIPTION Pre-development

Calculate T.O.C FIRST			
Time of Concentration Calculation - Check Cells Match			
C ₁₋₁₀	25	min	10% AEP, 60min Rainfall
A ₁	192100	m ²	Insert Catchment Area
A ₂	0.19210	km ²	Calculated in Km ²
S ₁	40	m/Km	Insert Catchment Grade
L ₁	0.8	Km	Insert Flow Length
T ₁	26.17	mins	Tc Calculated
T ₂	26.00	mins	Whole Number Tc

Impervious Area Calculation	
Existing Hardstand Area (approx)	= 68000 m ²
Total Area	= 192100 m²
Fraction Impervious	= 35%

Runoff Coefficient Calculation - Refer AR&R 1987	
Fraction impervious =	35%
C _{1,10} =	0.100
C10 =	0.38
Runoff Coefficient	

Adjusted to achieve a more realistic C10 value of 0.35. Refer Figure 2.9

Frequency Conversion Factors - Refer AR&R 1987										
ARI (years)	1	2	5	10	20	40	60	80	100	50
Factor, F _r	0.8	0.85	0.95	1	1.05	1.2	1.17	1.19	1.2	1.15

Peak Flows For Catchment For Given AEP - At T.O.C		
AEP	L ₁₀ (mm/h)	Flow (m ³ /s)
63.20%	16.9	0.276
50.00%	19.1	0.332
20%	26.5	0.516
10%	32.3	0.661
5%	38.1	0.818
2%	46.6	1.097
1%	53.8	1.320

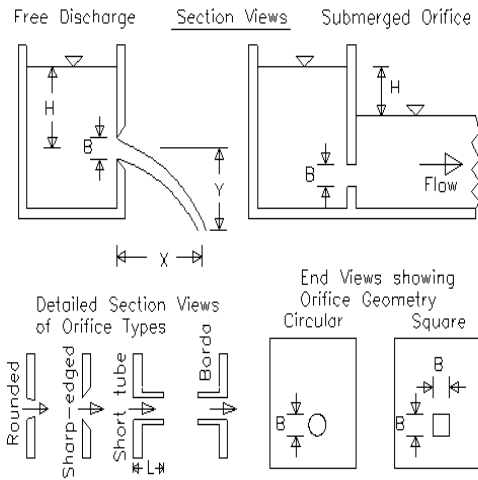
Peak Flows for Catchment for 5% AEP for given Storm Duration		
AEP	Duration (min)	Flow (m ³ /s)
5.00%	5.0	1.826
5.00%	10.0	1.379
5.00%	15.0	1.126
5.00%	20.0	0.960
5.00%	25.0	0.841
5.00%	26.0	0.818
5.00%	30.0	0.752
5.00%	45.0	0.584
5.00%	60.0	0.488
5.00%	90.0	0.382
5.00%	120.0	0.324
5.00%	180.0	0.259

INSERT CURRENT REGIONAL IFO DATA OBTAINED FROM AR&R 2016 - INCL. T.O.C SPECIFIC DURATION							
Duration (min)	Annual Exceedance Probability (AEP) mm						
	63.20%	50%	20%	10%	5%	2%	1%
1	1.03	1.17	1.63	1.96	2.32	2.83	3.24
2	1.76	1.98	2.67	3.16	3.63	4.22	4.68
3	2.34	2.63	3.58	4.25	4.92	5.78	6.46
4	2.82	3.18	4.36	5.21	6.07	7.22	8.15
5	3.23	3.64	5.03	6.04	7.08	8.52	9.68
10	4.69	5.32	7.45	9.04	10.7	13.2	15.3
15	5.7	6.46	9.06	11	13.1	16.2	18.7
20	6.5	7.37	10.3	12.5	14.9	18.3	21.1
25	7.18	8.13	11.3	13.7	16.3	19.9	22.9
26	7.31	8.27	11.5	14	16.5	20.2	23.3
30	7.79	8.81	12.20	14.80	17.50	21.30	24.40
45	9.32	10.5	14.5	17.4	20.4	24.5	27.9
60	10.6	12	16.4	19.5	22.7	27.1	30.5
90	12.8	14.4	19.5	23.1	26.7	31.4	35.1
120	14.6	16.4	22.3	26.3	30.2	35.2	39.1
180	17.7	19.9	27	31.7	36.2	42.1	46.5
270	21.4	24.2	32.9	38.6	44.1	51.2	56.5
360	24.5	27.8	38	44.6	51	59.4	65.6
540	29.4	33.6	46.3	54.7	62.7	73.6	81.8
720	33.3	38.1	53.1	62.9	72.5	85.7	95.6
1080	38.9	44.9	63.3	75.7	87.8	105	118

CALCULATED FROM ABOVE - Rainfall mm/hr							
Duration (min)	Annual Exceedance Probability (AEP) mm/hr						
	63.20%	50%	20%	10%	5%	2%	1%
1	61.8	70.2	97.8	117.6	139.2	169.8	194.4
2	52.8	59.4	80.1	98.8	108.9	126.6	140.4
3	46.8	52.6	71.6	85.0	98.4	115.6	129.2
4	42.3	47.7	65.4	78.2	91.1	108.3	122.3
5	38.8	43.7	60.4	72.5	85.0	102.2	116.2
10	28.1	31.9	44.7	54.2	64.2	79.2	91.8
15	22.8	25.8	36.2	44.0	52.4	64.8	74.8
20	19.5	22.1	30.9	37.5	44.7	54.9	63.3
25	17.2	19.5	27.1	32.9	39.1	47.8	55.0
26	16.9	19.1	26.5	32.3	38.1	46.6	53.8
30	15.6	17.6	24.4	29.6	35.0	42.6	48.8
45	12.4	14.0	19.3	23.2	27.2	32.7	37.2
60	10.6	12.0	16.4	19.5	22.7	27.1	30.5
90	8.5	9.6	13.0	15.4	17.8	20.9	23.4
120	7.3	8.2	11.2	13.2	15.1	17.6	19.6
180	5.9	6.6	9.0	10.6	12.1	14.0	15.5
270	4.8	5.4	7.3	8.6	9.8	11.4	12.6
360	4.1	4.6	6.3	7.4	8.5	9.9	10.9
540	3.3	3.7	5.1	6.1	7.0	8.2	9.1
720	2.8	3.2	4.4	5.2	6.0	7.1	8.0
1080	2.2	2.5	3.5	4.2	4.9	5.8	6.6

ORIFICE ANALYSIS

Detention Pond			
Max flow required	0.818	m3/s	
$Q = C_o A \sqrt{2gH}$			
Submerged orifice			
No. orifices	1		
Orifice diameter (m)	0.68	<i>Should be >2.54cm</i>	
Head above orifice (m)	0.7		
Head, H (m)	0.7	<i>Should be >1.25m</i>	
Co	0.6		
Orifice Area (m2)	0.363		
Flow, Q (m3/s) per orriface	0.808		
Total flow, Q (m3/s)	0.808		
Free discharge orifice			
No. orifices	1		
Orifice diameter (m)	0.67	<i>Should be >2.54cm</i>	
Head above orifice (m)	1.1		
Head, H (m)	0.765	<i>Should be >1.25m</i>	
Co	0.6		
Orifice Area (m2)	0.353		
Flow, Q (m3/s) per orriface	0.820		
Total flow, Q (m3/s)	0.820		

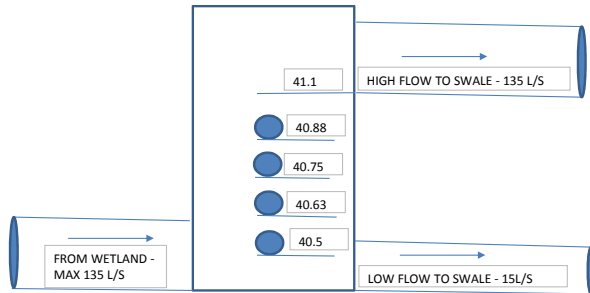


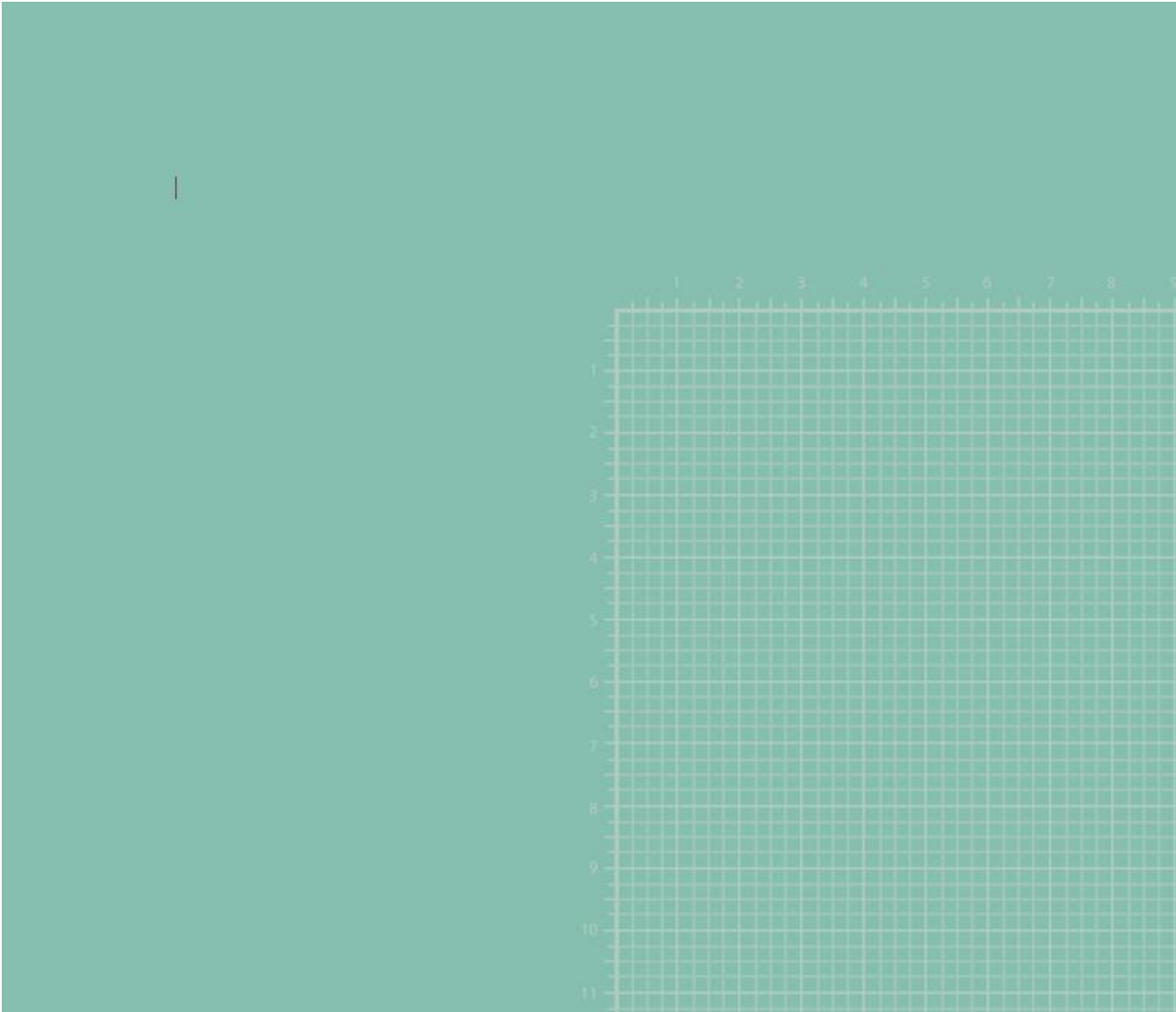
Wetland orifice sizing

Average wetland area	332	m ²
TWL permanent pool	40.5	m RL
Overflow level	41.1	m RL

	Orifice flows				Total Flow (l/s)	Notational detention time (hrs)	
	Q1	Q2	Q3	Q4			
Orifice invert location above permanent pool level	0	0.125	0.25	0.375			
Orifice diameter (m)	0.05	0.05	0.05	0.05			
Number	1	1	1	1			
	Flows (l/s)						
	0	1.84	0.00		1.84	6.2	
		2.61	1.84	0.00	4.45	5.2	
		3.20	2.61	1.84	7.65	4.5	
		3.69	3.20	2.61	11.34	4.1	
		4.04	3.60	3.09	2.48	13.20	4.2

Water depth (m)	water level RL (m)	Volume (m ³)	Detention time required with no inflow (hrs)	Required outflow rate (l/s)
0	40.5	0	4	0.000
0.125	40.625	41.5	4	2.882
0.25	40.75	83	4	5.764
0.375	40.875	124.5	4	8.646
0.5	41	166	4	11.528
0.6	41.1	199.2	4	13.833





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